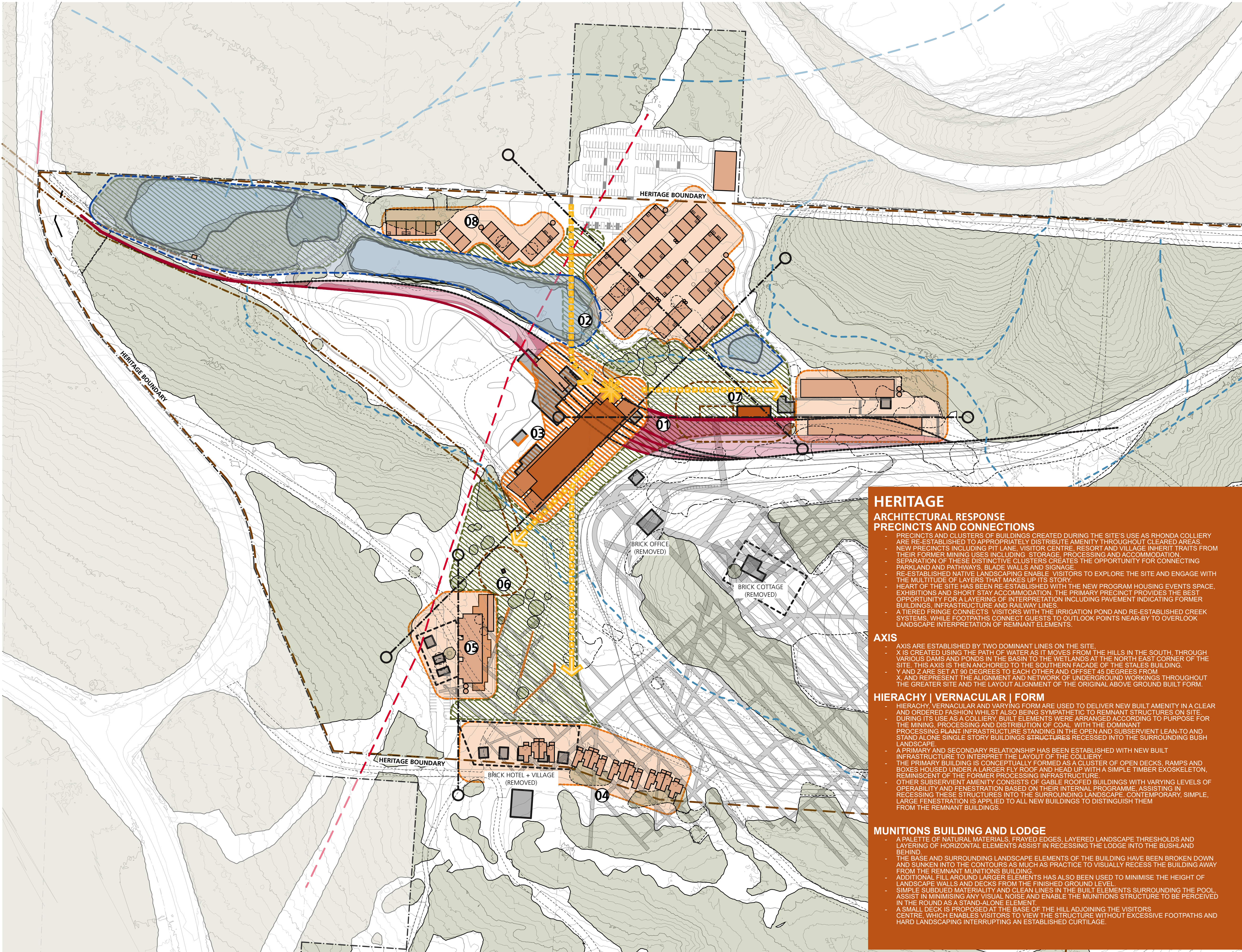


- 01. FORMER RAIL CORRIDOR**
PAVEMENT, PLANTING AND LANDSCAPE ELEMENTS WITHIN FORMER RAIL CORRIDOR.
- 02. DAMS AND WATERCOURSES**
SIGNAGE AND SCULPTURE TO HERITAGE AND LANDSCAPE ARCHITECT DETAIL.
- 03. INTERPRETATION OF FORMER SCREENING AND PROCESSING**
RE-ESTABLISHMENT OF MAJOR SITE PRECINCT, MARKINGS IN AND ALTERNATE PAVEMENT INDICATING FORMER BUILDING OUTLINES. MAJOR COMPONENTS OF PROGRAM LOCATED WITHIN PRECINCT.
- 04. CABINS**
NEW CABINS PROPOSED IN LOCATION OF FORMER SITE ACCOMMODATION.
- 05. LODGE**
BLACKROCK LODGE PROPOSED ON SITE OF FORMER ACCOMMODATION OVERLOOKING MAJOR PRECINCT AND TRACK.
- 06. MUNITIONS STORE**
EXISTING STRUCTURE RETAINED, CURTLAGE ESTABLISHED, NEW VIEWING PLATFORM TO BASE OF HILL, REFER NOTES ABOVE.
- 07. STABLES**
EXISTING STABLES BUILDING RETAINED AND ADAPTED AS CAFE, AMENITY EXTENDED WITH ARBOUR AND CURTLAGE ESTABLISHED.



- PRECINCTS AND CLUSTERS OF BUILDINGS CREATED DURING THE SITE'S USE AS RHONDA COLLIERY ARE RE-ESTABLISHED TO APPROPRIATELY DISTRIBUTE AMENITY THROUGHOUT THE AREA.
- NEW PRECINCTS INCLUDING A NEW FORMER STRAITS ROAD AND VILLAGE INHERIT PATIS FROM THEIR FORMER MINING USES INCLUDING STORAGE, PROCESSING AND ACCOMMODATION.
- SEPARATION OF THESE DISTINCTIVE CLUSTERS CREATES THE OPPORTUNITY FOR CONNECTING PARKLAND AND PATHWAYS, BLADE WALLS AND SIGNAGE.
- RE-ESTABLISHING NATIVE LANDSCAPE AND PLANTING VISITORS TO EXPLORE THE SITE AND ENGAGE WITH THE MULTITUDE OF PLANT LIFE THAT MAKES UP ITS SOILS.
- HEART OF THE SITE HAS BEEN RE-ESTABLISHED WITH THE NEW PROGRAM HOUSING EVENTS SPACE, EXHIBITIONS AND SHORT STAY ACCOMMODATION. THE PRIMARY PRECINCT PROVIDES THE BEST OPPORTUNITY FOR A LAYERING OF INTERPRETATION INCLUDING PAVEMENT INDICATING FORMER BUILDINGS, INFRASTRUCTURE AND PLANTING.
- A TIERED FRINGE CONNECTS VISITORS WITH THE IRRIGATION POND AND RE-ESTABLISHED CREEK SYSTEMS, WHILE FOOTPATHS CONNECT GUESTS TO OUTLOOK POINTS NEAR-BY TO OVERLOOK LANDSCAPE INTERPRETATION OF REMNANT ELEMENTS.

- X AND Y AXIS ARE ESTABLISHED BY TWO DOMINANT LINES ON THE SITE.
- X IS CREATED USING THE PATH OF WATER AS IT MOVES FROM THE HILLS IN THE SOUTH, THROUGH VARIOUS DAMS AND PONDS IN THE BASIN TO THE WETLANDS AT THE NORTH EAST CORNER OF THE SITE.
- Y IS THIS AXIS, S-HED TO THE HILLS, AND Z IS THE AXIS OF THE STABLE BUILDING.
- Y AND Z ARE SET AT 90 DEGREES TO EACH OTHER AND OFFSET 45 DEGREES FROM X.
- X, AND REPRESENT THE ALIGNMENT AND NETWORK OF UNDERGROUND WORKINGS THROUGHOUT THE GREATER SITE AND THE LAYOUT ALIGNMENT OF THE ORIGINAL ABOVE GROUND BUILT FORM.

- HIERARCHY, VERNACULAR AND VARYING FORM ARE USED TO DELIVER NEW BUILD AMENITY IN A CLEAR AND ORDERED FASHION WHILST ALSO BEING SYMPHETIC TO REMNANT STRUCTURES ON SITE. DURING ITS USE AS A COLLIERY, BUILT ELEMENTS WERE ARRANGED ACCORDING TO PURPOSE FOR PROCESSING, PRIMARILY THE CRUSHING OF COAL, WITH THE DOMINANT PROCESSING PLANT INFRASTRUCTURE STANDING IN THE OPEN AND SUBSERVIENT LEAN-TO AND STAND ALONE SINGLE STORY BUILDINGS STRUCTURES RECESSED INTO THE SURROUNDING BUSH LANDSCAPE.
- A PRIMARY AND SECONDARY RELATIONSHIP HAS BEEN ESTABLISHED WITH NEW BUILD INFRASTRUCTURE TO INTERPRET THE LAYOUT OF THE COLLIERY.
- THE PRIMARY BUILDING IS CONCEPTUALLY FORMED AS A CLUSTER OF OPEN DECKS, RAMPS AND BOXES HOUSED UNDER A LARGER FLY ROOF AND HEAD UP WITH A SIMPLE TIMBER EXOSKELETON, REMINISCENT OF THE FORMER PROCESSING INFRASTRUCTURE.
- OTHER SUBSERVIENT AMENITY CONSISTS OF GABLE ROOFED BUILDINGS WITH VARYING LEVELS OF OPENABILITY AND INTERIOR FLOORING ON TIERED PLATFORMS, ASSISTING IN RECESSING THESE STRUCTURES INTO THE SURROUNDING LANDSCAPE. CONTEMPORARY, SIMPLE, LARGE PENETRATION IS APPLIED TO ALL NEW BUILDINGS TO DISTINGUISH THEM FROM THE REMNANT BUILDINGS.

- A PALETTE OF NATURAL MATERIALS, FRAYED EDGES, LAYERED LANDSCAPE THRESHOLDS AND LAYERING OF HORIZONTAL ELEMENTS ASSIST IN RECESSING THE LODGE INTO THE BUSHLAND BEHIND.
- THE BASE AND SURROUNDING LANDSCAPE ELEMENTS OF THE BUILDING HAVE BEEN BROKEN DOWN AND SUNKEN INTO THE CONTOURS AS MUCH AS PRACTICE TO VISUALLY RECESS THE BUILDING AWAY FROM THE REMAINTS OF THE BUSH.
- ADDITIONAL FILL AROUND LARGER ELEMENTS HAS ALSO BEEN USED TO MINIMISE THE HEIGHT OF LANDSCAPE WALLS AND DECKS FROM THE FINISHED GROUND LEVEL.
- SMALL SUBURBANE ELEMENTS SUCH AS THE BENCHES AND PLANTERS SURROUNDING THE POOL, ASSIST IN MINIMISING ANY VISUAL NOISE AND ENABLE THE MUNITIONS STRUCTURE TO BE PERCEIVED IN THE ROUND AS A STAND-ALONE ELEMENT.
- A SMALL DECK IS PROJEKTED AT THE BASE OF THE HILL ADJOINING THE VISITORS CENTRE, WHICH ENABLES VISITORS TO VIEW THE STRUCTURE WITHOUT EXCESSIVE FOOTPATHS AND HARD LANDSCAPING INTERRUPTING AN ESTABLISHED CURTILAGE.

CONSULTANTS							
 BARR PROPERTY & PLANNING <i>Controlled Progress</i>	 NORTHROP <i>CONSULTING ENGINEERS</i>	 moir <i>landscape architects</i>	 GHD <i>Group</i>	 MJD Environmental <i>Environmental</i>	 RPS <i>Group</i>	 SECA solution <i>Engineering</i>	 EP RISK <i>Engineering</i>
TOWN PLANNING Barr Property & Planning C/401 091 664	CIVIL ENGINEER Northrop Consulting Engineers T: 4841 1777	LANDSCAPE ARCHITECT Moir Landscape Architecture T: 4840 3500	GEOTECHNICAL ENGINEER GHD Australia T: 4879 9983	ENVIRONMENTAL ENGINEER MJD Environmental T: 9416 208 664	HERITAGE CONSULTANT RPS Group T: 4032 4200	TRAFFIC ENGINEER SECA Solution T: 4032 7979	RISK ASSESSMENT EP Risk T: 4848 2845

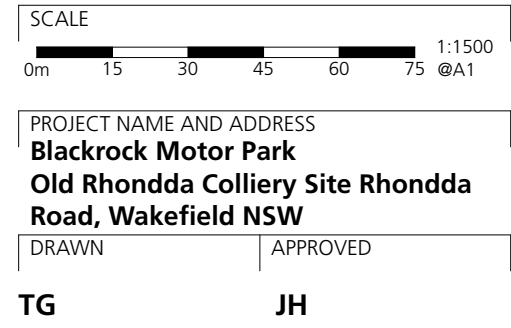
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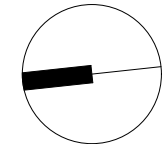
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CLIENT NAME

PALMER GROUP

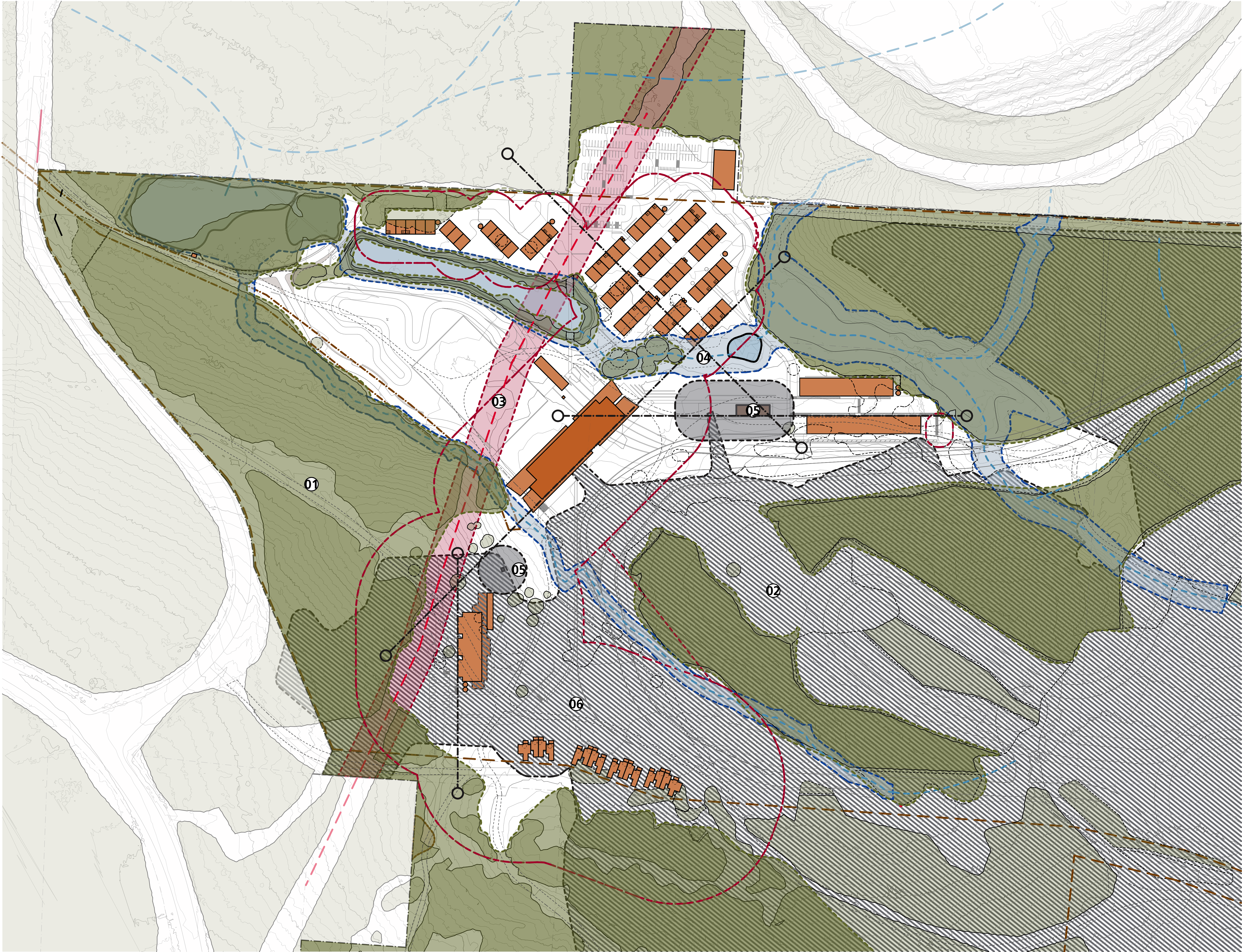


STATUS		
DEVELOPMENT APPLICATION		
DRAWING TITLE		
Masterplan - Heritage Response		
PROJECT NO.	DRAWING NO.	REV.
3606	DA1302	03



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RESPONSE PRINCIPLES

01. VEGETATION
- EXISTING VEGETATION AND CORRIDORS, SHOWN GREEN, TO BE RETAINED AS MUCH AS PRACTICAL. NEW DEVELOPMENT OFFSET FROM EXISTING TREE CANOPY. REFER ENVIRONMENTAL REPORT FOR INFORMATION.
02. SUBSIDENCE AND UNDERMINING
- HATCH INDICATES EXTENT OF UNDERGROUND WORKINGS. WESTERN RIDGE PROVIDES ADEQUATE COVERAGE FOR ACCOMMODATION ELEMENTS. REFER GEOTECHNICAL REPORT FOR INFORMATION.
03. EXISTING POWER LINE
- EXISTING OVERHEAD POWER LINE SHOWN RED TO BE RETAINED. ADJUSTMENT OF POLE NEAR SKID PAN, REFER SEE. EASEMENT ESTABLISHED EITHER SIDE OF LINE.
04. RIPARIAN ZONE
- RIPARIAN ZONES, SHOWN BLUE, ESTABLISHED AROUND CREEK SYSTEMS AND WATER BODIES. DEVELOPMENT SETBACK FROM BED AND BANKS, REFER LANDSCAPE ARCHITECT AND ENVIRONMENTAL REPORTS FOR INFORMATION.
05. EXISTING STRUCTURES
- EXISTING STRUCTURES OF HERITAGE SIGNIFICANCE RETAINED. CURTLAGE ESTABLISHED. SHOWN DARK GREY. NEW DEVELOPMENT OFFSET FROM ITEMS. REFER HERITAGE REPORT FOR INFORMATION.
06. ASSET PROTECTION ZONE
- ASSET PROTECTION ZONE, SHOWN RED DASHED LINE, ESTABLISHED AROUND VARIOUS ACCOMMODATION ELEMENTS PROPOSED, REFER BUSHFIRE REPORT FOR INFORMATION.

CONSULTANTS

TOWN PLANNING
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GEOTECHNICAL ENGINEER
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ENVIRONMENTAL ENGINEER
MJD Environmental
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HERITAGE CONSULTANT
RPS Group
T 4940 4200

TRAFFIC ENGINEER
SECA Solution
T 4032 7979

RISK ASSESSMENT
EP Risk
T 4048 2845

AMENDMENTS

No	Drn	Chk	Date	Comment
01	YG	JH	06.07.18	Draft DA
02	YG	JH	19.10.18	Amended Plans

No	Drn	Chk	Date	Comment

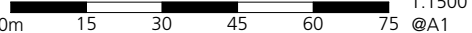
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CLIENT NAME

PALMER GROUP

SCALE



PROJECT NAME AND ADDRESS
Blackrock Motor Park
Old Rhondda Colliery Site Rhondda Road, Wakefield NSW

DRAWN TG

APPROVED JH

STATUS

DEVELOPMENT APPLICATION

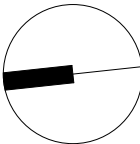
DRAWING TITLE

Masterplan - Environmental Response

PROJECT NO 3606

DRAWING NO DA1303 02

REV



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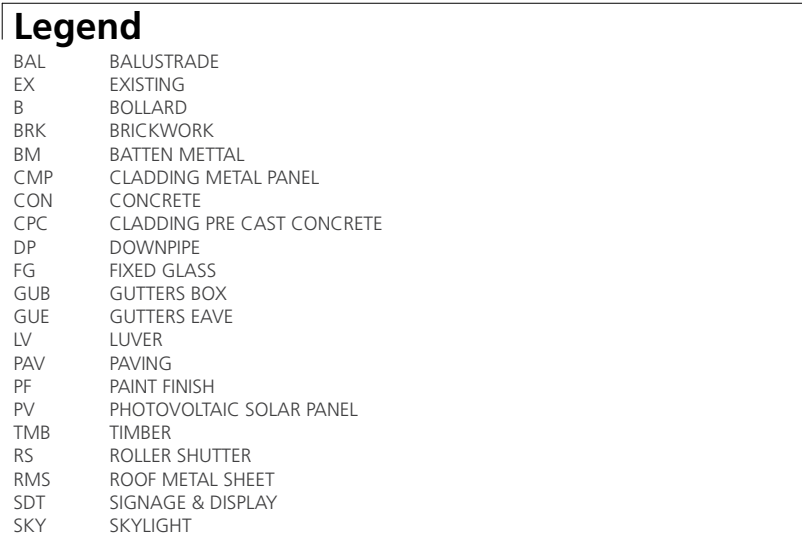
Willington NSW 2296

Australia

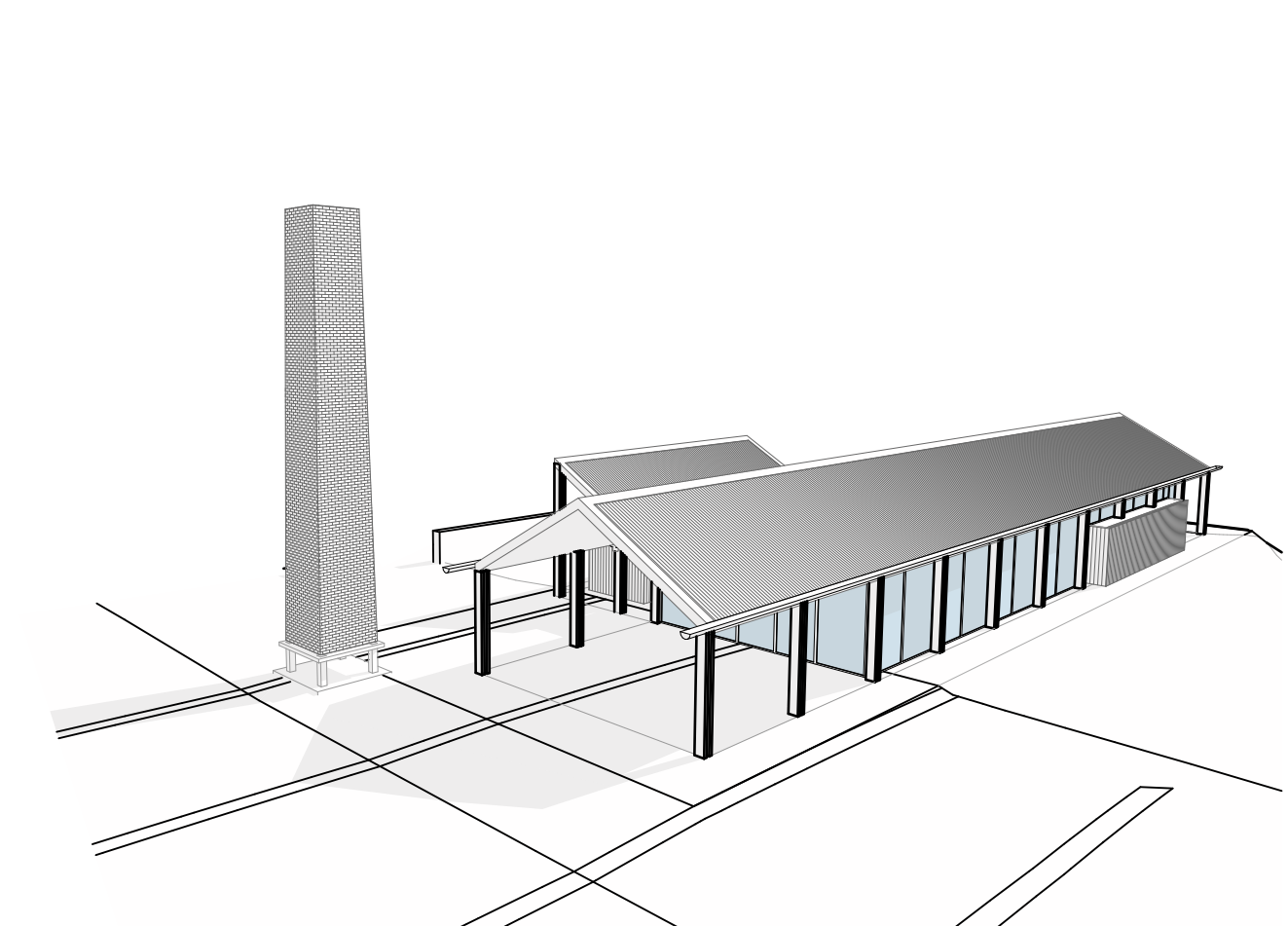
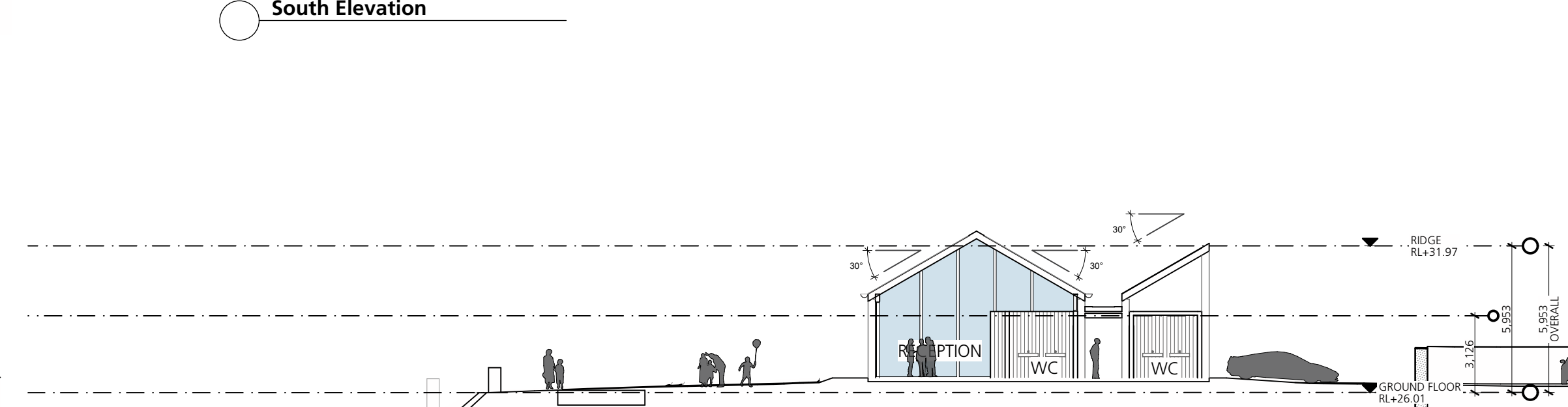
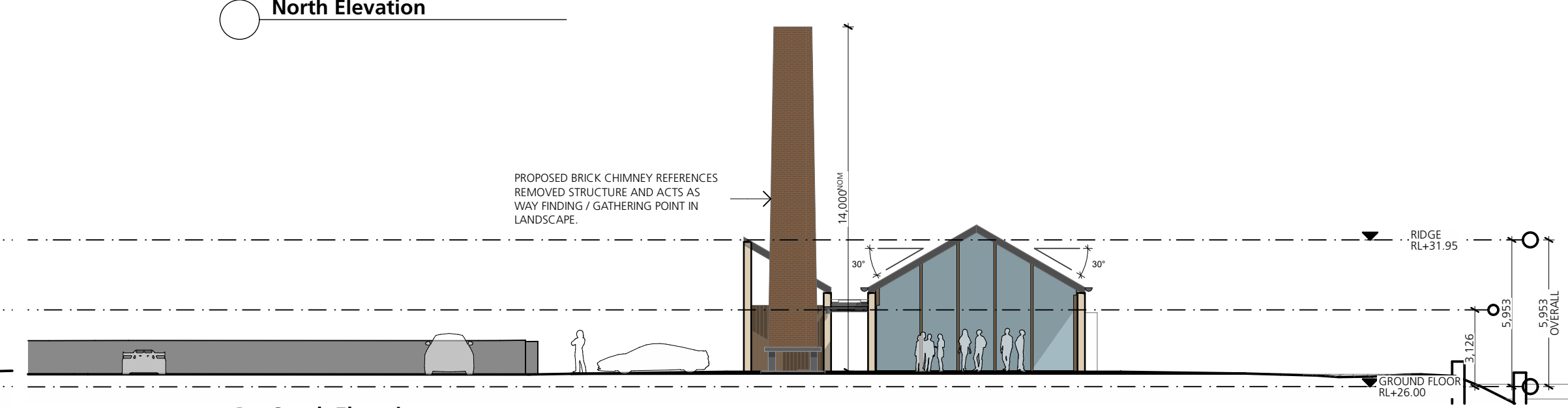
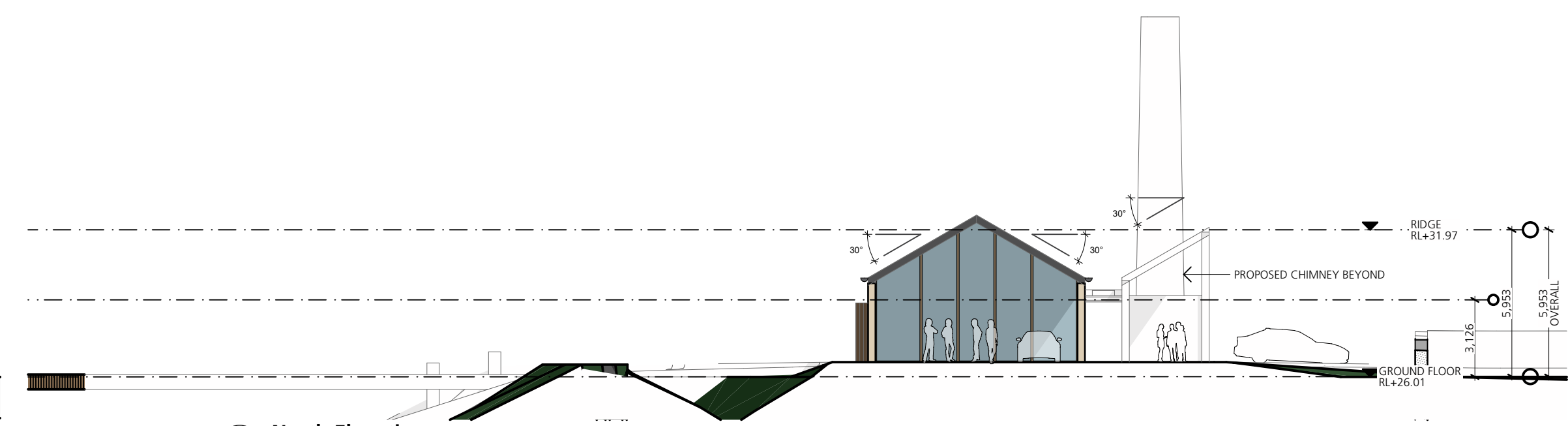
Nominated Architect

Justin Hamilton (6160)

ABN 32 131 584 846



Number	Room Name	Area
A001	Service	11
A002	Go Karts	95
A003	Training Room	67
A004	Foyer	54
A005	Change - Male	10
A006	Change - ACC WC	6
A007	Change - Female	10
A	GFA - Overall	264



 Chimney Reference



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PALMER GROUP



DEVELOPMENT APPLICATION

A Welcome Centre

DRAWING NO.

DA21

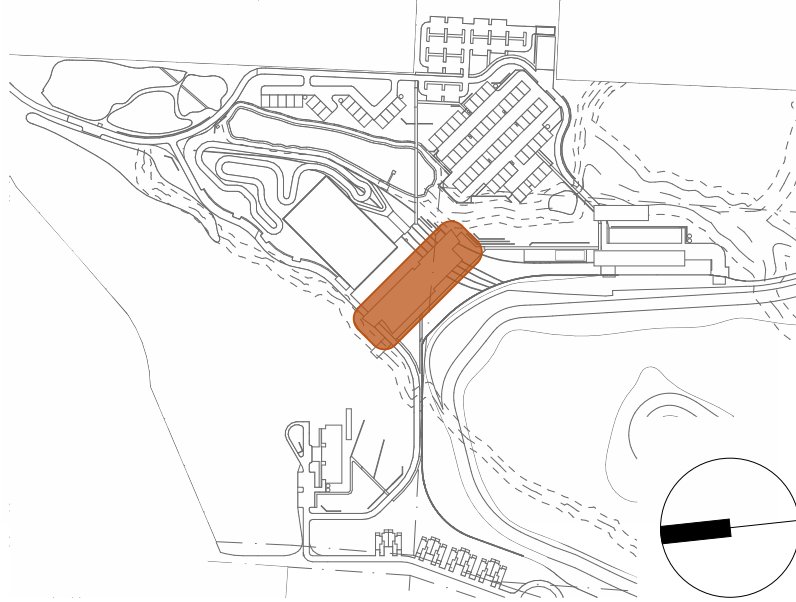
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E	info@shac.com.au	Australia	ABN 32 131 584 846

CONSULTANTS							
 BARR PROPERTY PLANNING <i>Commercial Properties</i>	 NORTHROP CONSULTING ENGINEERS	 moir LANDSCAPE ARCHITECTURE	 GHD	 MJD Environmental ENVIRONMENTAL	 RPS GROUP	 SECA solution TRAFFIC ENGINEERING	 EPRISK RISK ASSESSMENT
TOWN PLANNING Barr Property & Planning T. 0845 1177	CIVIL ENGINEER Northrop Consulting Engineers T. 0845 1177	LANDSCAPE ARCHITECT Moir Landscape Architecture T. 0845 1177	GEOTECHNICAL ENGINEER GHD Australia T. 0845 1177	ENVIRONMENTAL ENGINEER MJD Environmental T. 0845 1177	HERITAGE CONSULTANT RPS Group T. 0845 1177	TRAFFIC ENGINEER SECA Solution T. 0845 1177	RISK ASSESSMENT EPRISK T. 0845 1177

KEY PLAN



Legend

BAL	BALUSTRADE
EX	EXISTING
B	BOLLARD
BRK	BRICKWORK
BM	BATTEN METAL
CMP	CLADDING METAL PANEL
CON	CONCRETE
CPC	CLADDING PRE-CAST CONCRETE
DP	DOWNPIPE
FG	FIXED GLASS
GUB	GUTTERS BOX
GUE	GUTTERS EAVE
LV	LOUVER
PV	PAVING
PF	PAINT FINISH
PV	PHOTOVOLTAIC SOLAR PANEL
TMB	TIMBER
RS	ROLLER SHUTTER
RMS	ROOF METAL SHEET
SDT	SIGNAGE & DISPLAY
SKY	SKYLIGHT

BUILDING B - VISITOR CENTRE GROUND

Number	Room Name	Area
B001	Exhibition	352
B002	Store	43
B003	Store	10
B004	Reception	90
B005	Foyer	191
B006	Kitchen Stores	16
B007	Female WC	23
B008	ACC. WC	8
B009	Hall	10
B010	Exhibition	150
B011	ACC. WC	8
B012	Male WC	23
B013	Retail Stores	16
B014	Retail	74
B015	Store	13
B016	Performance Gallery - Cars	861
B017	Male WC	23
B018	Acc. WC	8
B019	Acc. WC	8
B020	Female WC	23
B021	Kitchen	84
B022	Corns	9
B023	Corns	9
B024	Bar Store	18
B025	Bar	47
B026	Fire Stair	21
B027	Fire Stair	21
B028	Lounge / Bar	334

BUILDING B - VISITOR CENTRE FIRST

Number	Room Name	Area
B100	Typical Room Type A	41
B100	Typical Room Type C	79
B100	Typical Room Type B	85
B100	Typical Room Type D	97
B101	Hall	382
B102	Dining	45
B	GFA - Ground Floor	2,499
B	GFA - First Floor	2,878
		5,377 m²

ROOM TYPE A

Number	Room Name	Area
BA01	WC	10
BA02	Hall	7
BA03	Living	21
BA04	Deck	7

ROOM TYPE A - ACC COMPLIANT

Number	Room Name	Area
BA11	WC	10
BA12	Living	7
BA13	Living	21
BA14	Deck	7

ROOM TYPE B

Number	Room Name	Area
BB01	Living	36
BB02	Deck	8
BB03	Bed	16
BB04	WC	6
BB05	Bed	15
BB06	WC	8

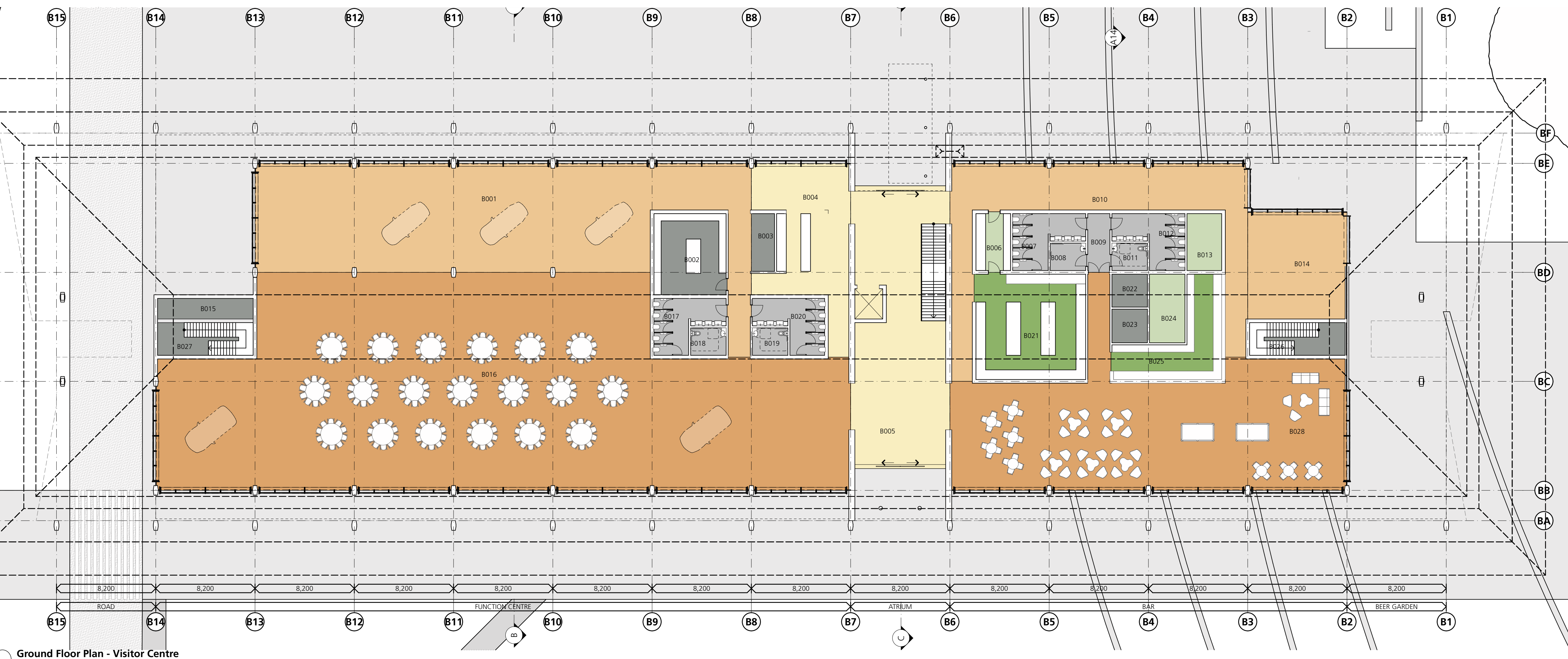
ROOM TYPE C

Number	Room Name	Area
BC01	Living	33
BC02	Deck	8
BC03	Bed	16
BC04	WC	6
BC05	Bed	15

ROOM TYPE D

Number	Room Name	Area
BD01	Living	48
BD02	WC	5
BD03	Bed	10
BD04	Bed	9
BD05	WC	5
BD06	WC	6
BD06	Bed	16
BD07	Deck	28

First Floor Plan - Visitor Centre



Ground Floor Plan - Visitor Centre

CONSULTANTS



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LANDSCAPE ARCHITECT
Moir Landscape Architecture
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GEOTECHNICAL ENGINEER
GHD Australia
T 4979 9983



ENVIRONMENTAL ENGINEER
MJD Environmental
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HERITAGE CONSULTANT
RPS Group
T 4940 4200



TRAFFIC ENGINEER
SECA Solution
T 4032 7979



RISK ASSESSMENT
EP Risk
T 4048 2845

AMENDMENTS

No	Dr	Chk	Date	Comment
01	TG	JH	10.08.17	For DA LMCC
02	TG	JH	22.08.17	For DA
03	TG	MT	01.05.18	Client Meeting
04	TG	MT	07.06.18	Coordination Meeting
05	TG	MT	16.07.18	Drift DA
06	TG	MT	19.07.18	FOR DA
07	TG	MT	19.10.18	Amended Plans

No	Dr	Chk	Date	Comment

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CLIENT NAME

PALMER GROUP

SCALE

0m 2 4 6 8 10 @A1

PROJECT NAME AND ADDRESS
Blackrock Motor Park
Old Rhondda Colliery Site Rhondda
Road, Wakefield NSW

DRAWN

APPROVED

STATUS

DEVELOPMENT APPLICATION

DRAWING TITLE

Area B Visitor Centre - Floor Plans

PROJECT NO

3606

DRAWING NO

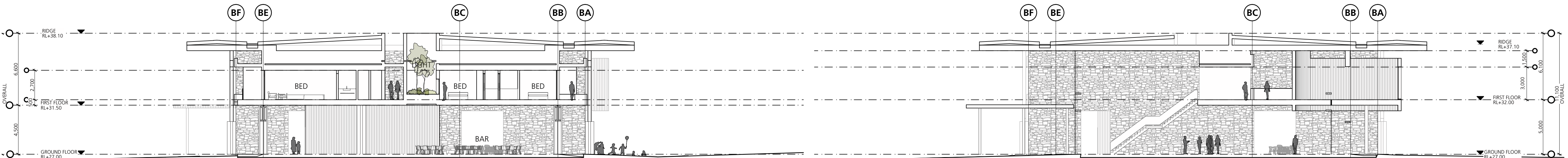
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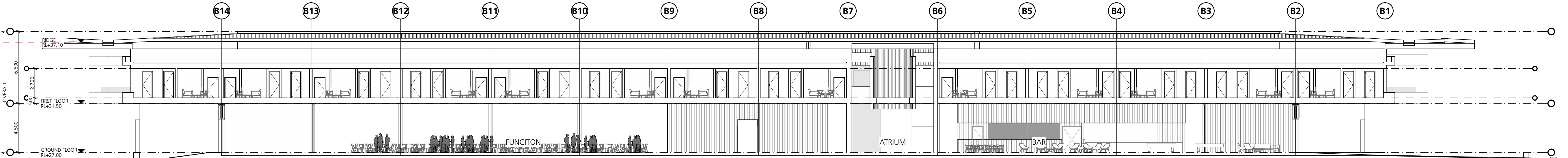
SHAC

T +61 2 4961 5888 224 Mailand Road Nominated Architect
F +61 2 4962 2577 Kingston NSW 2296 Justin Hamilton (6160)
E info@shac.com.au Australia ABN 32 131 584 946

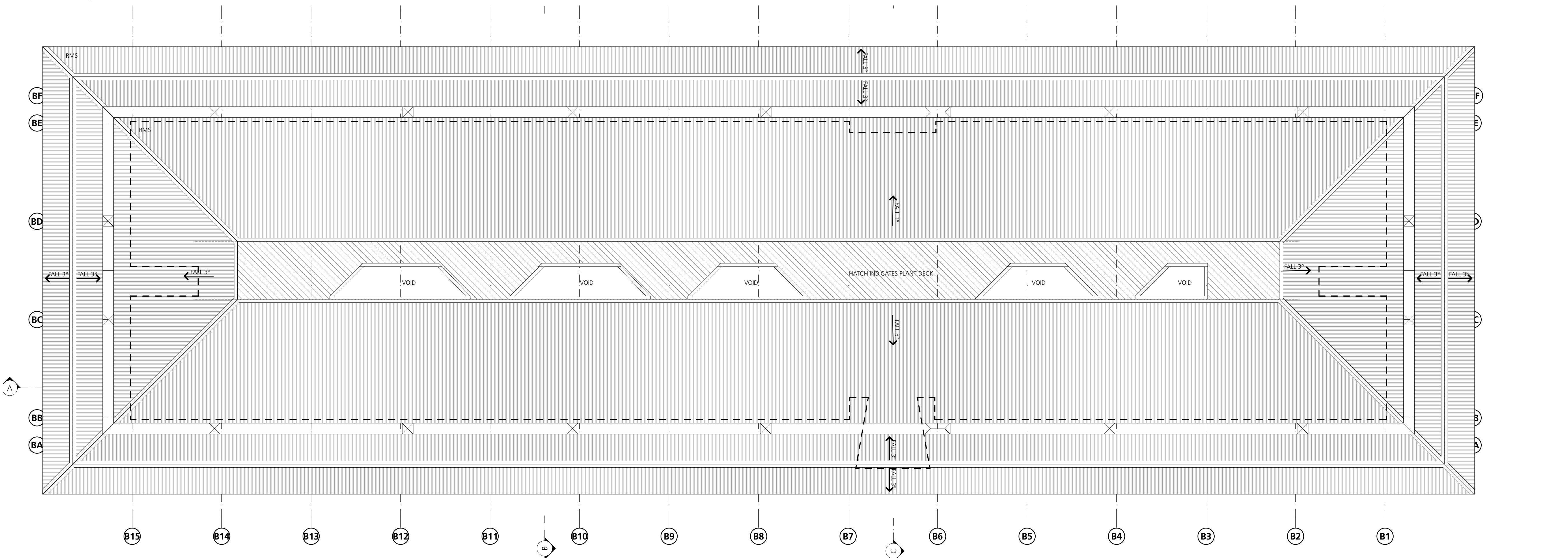
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PV	PHOTOVOLTAIC SOLAR PANEL
TMB	TIMBER
RS	ROLLER SHUTTER
RMS	ROOF METAL SHEET
SDT	SIGNAGE & DISPLAY
SKY	SKYLIGHT



Section C



Section A



Roof Plan - Visitor Centre

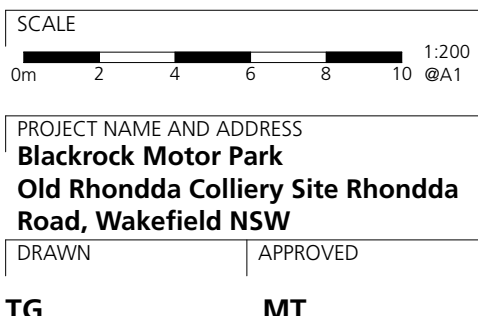
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CLIENT NAME
PALMER GROUP



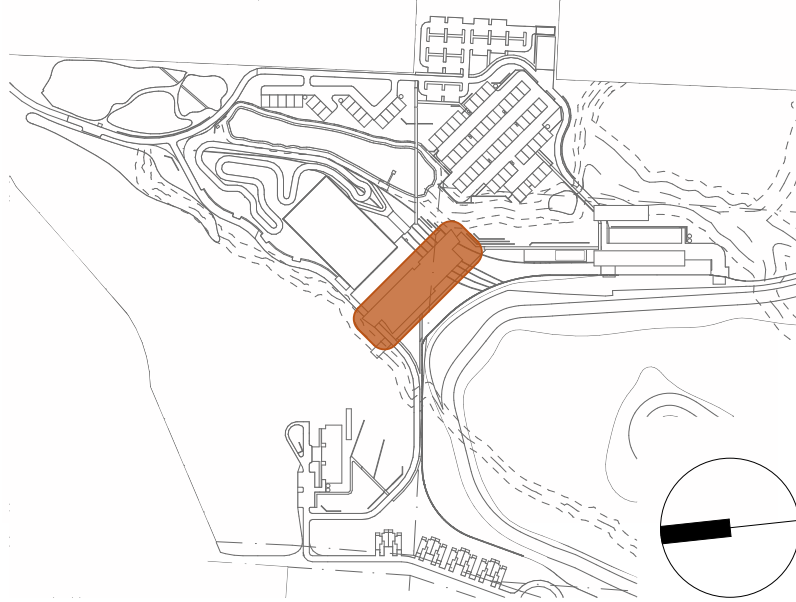
STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE		
Area B Visitor Centre - Roof Plan + Sections		
PROJECT NO.	DRAWING NO.	REV.
3606	DA2202	05

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KEY PLAN



Legend

BAL	BALUSTRADE
EX	EXISTING
B	BOLLARD
BRK	BRICKWORK
BM	BATTEN METAL
CMP	CLADDING METAL PANEL
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RMS	ROOF METAL SHEET
SDT	SIGNAGE & DISPLAY

SHAC A3 SK Cover Page

South Elevation

North Elevation

East Elevation

West Elevation

CONSULTANTS

TOWN PLANNING Barr Property & Planning T 0403 093 664	CIVIL ENGINEER Northrop Consulting Engineers T 4943 1777	LANDSCAPE ARCHITECT Moir Landscape Architecture T 4965 3500	GEOTECHNICAL ENGINEER GHD Australia T 4979 9983	ENVIRONMENTAL ENGINEER MJD Environmental T 0416 208 684	HERITAGE CONSULTANT RPS Group T 4940 4200	TRAFFIC ENGINEER SECA Solution T 4032 7979	RISK ASSESSMENT EP Risk T 4048 2845
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AMENDMENTS

No	Dr	Chk	Date	Comment	No	Dr	Chk	Date	Comment
01	YG	JH	10.08.17	For DA IMCC					
02	YG	JH	22.06.17	For DA					
03	YG	MT	06.07.18	Draft DA					
04	YG	MT	19.07.18	FOR DA					
05	YG	MT	19.10.18	Amended Plans					

NOTES

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CLIENT NAME

PALMER GROUP

SCALE

0m 2 4 6 8 10 @A1

PROJECT NAME AND ADDRESS
Blackrock Motor Park
Old Rhondda Colliery Site Rhondda
Road, Wakefield NSW

DRAWN

TG

APPROVED

MT

STATUS

DEVELOPMENT APPLICATION

DRAWING TITLE

Area B Visitor Centre - Elevations

PROJECT NO

3606

DRAWING NO

DA2203 05

REV

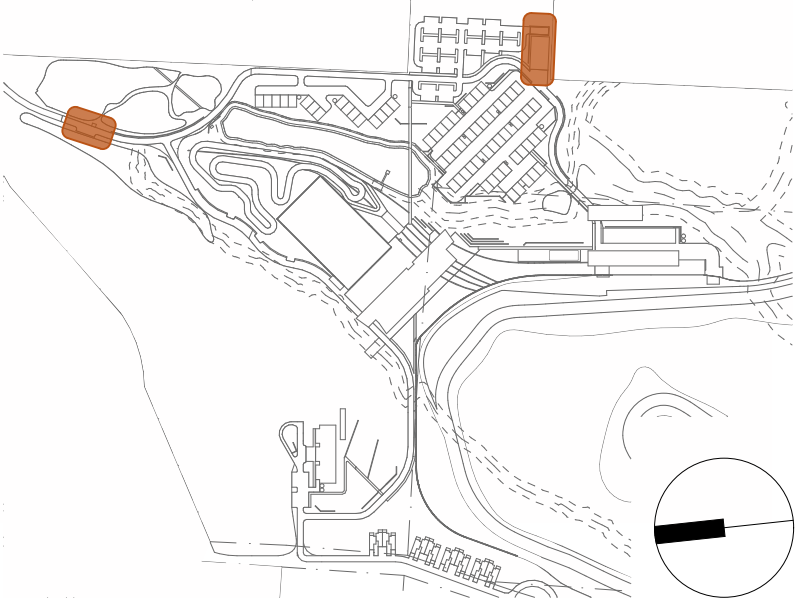
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KEY PLAN



Legend

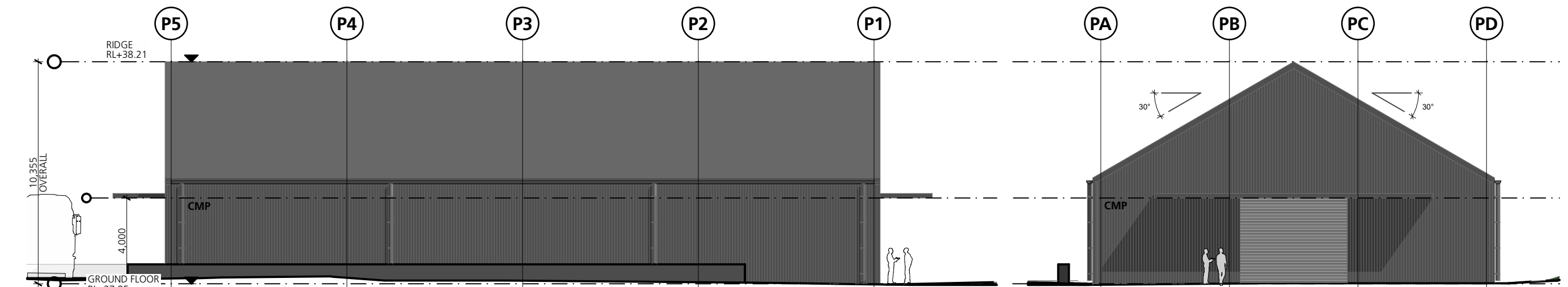
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RMS	ROOF METAL SHEET
SDT	SIGNAGE & DISPLAY
SKY	SKYLIGHT

BUILDING P - COVERED PARKING

Number	Room Name	Area
P001	Covered Parking	605

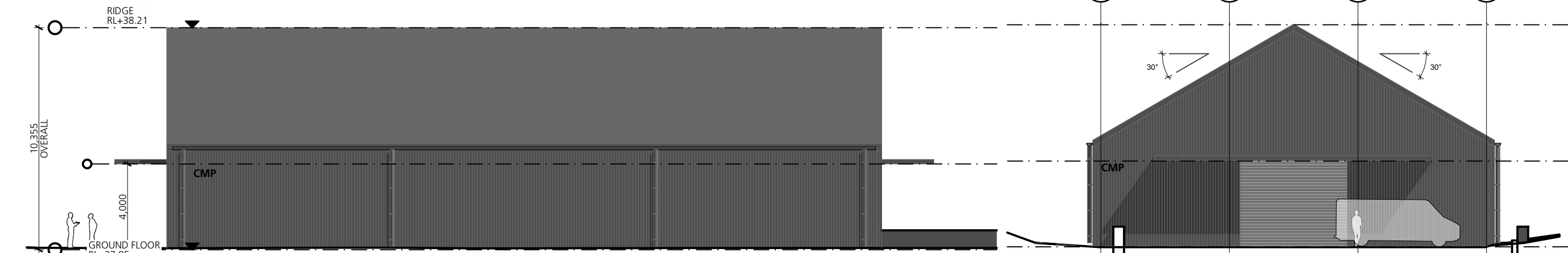
BUILDING A - GATEHOUSE

Number	Room Name	Area
A001	Gatehouse	12



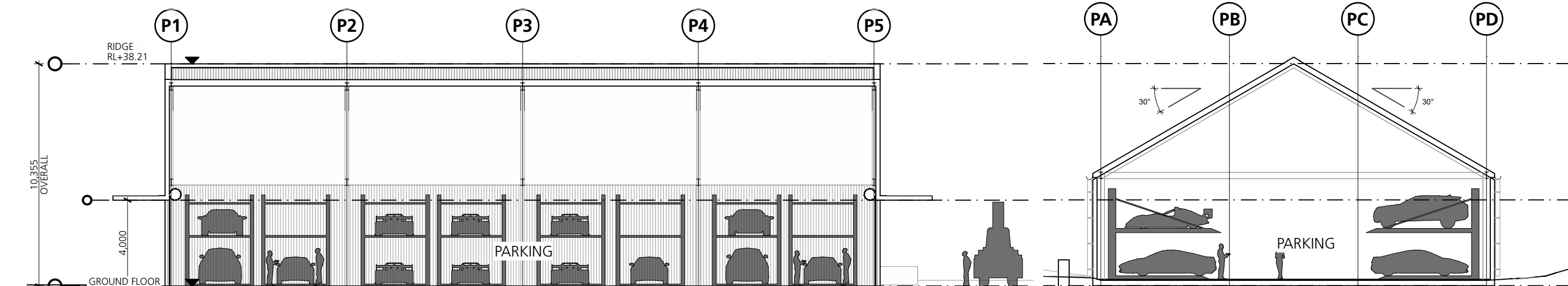
North Elevation

West Elevation



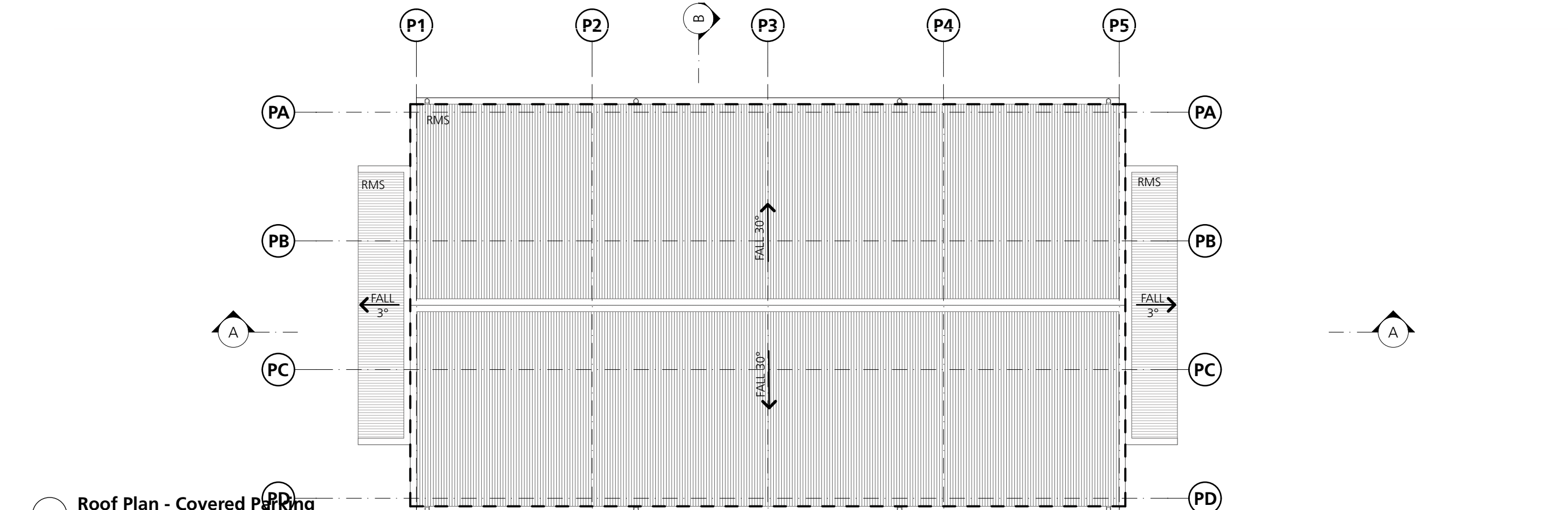
South Elevation

East Elevation

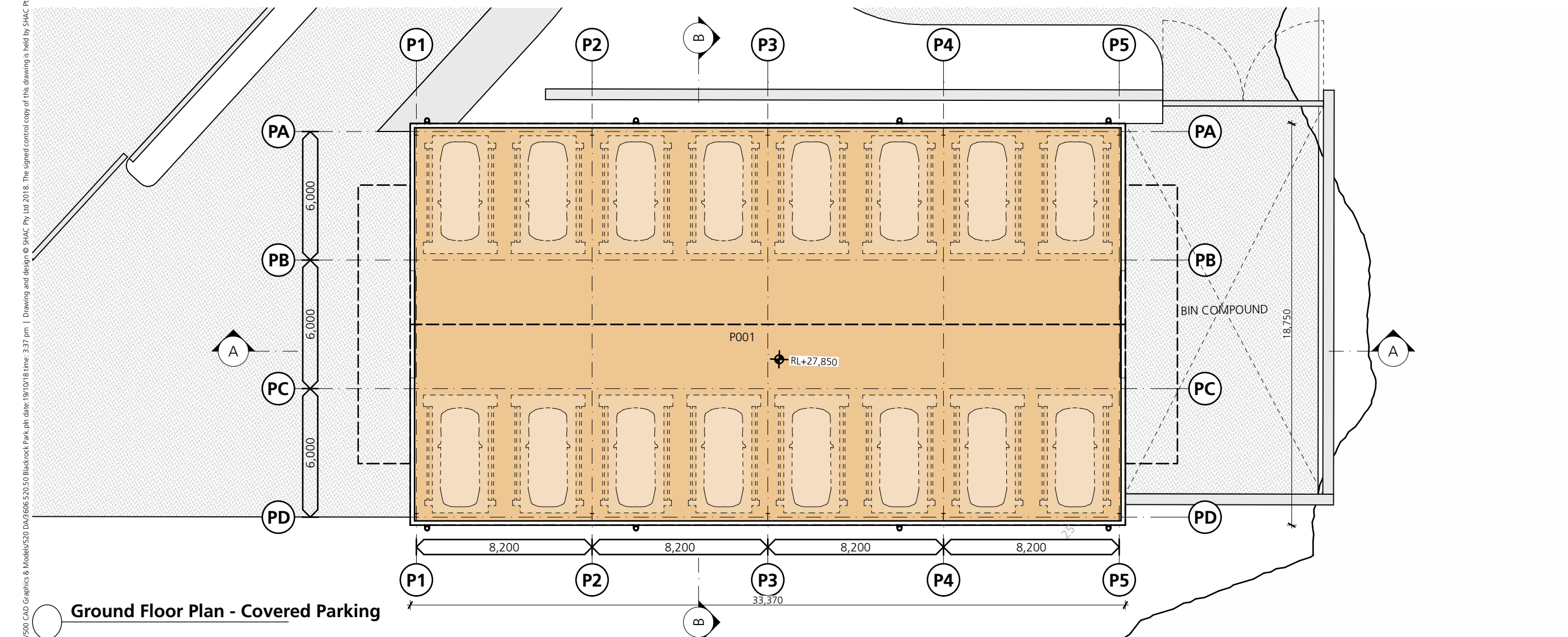


Section A

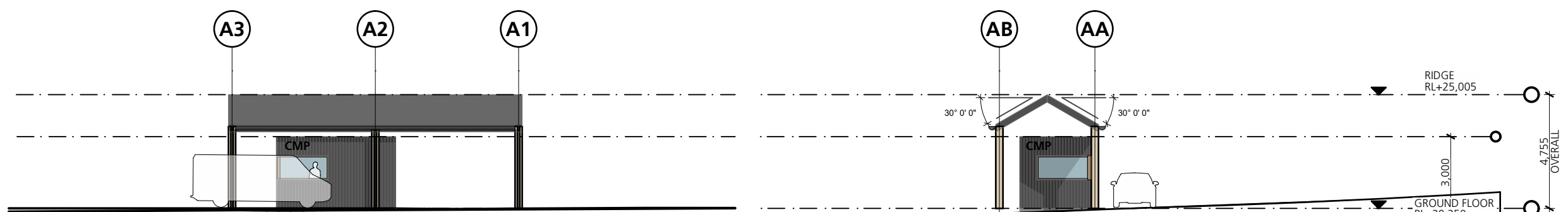
Section B



Roof Plan - Covered Parking

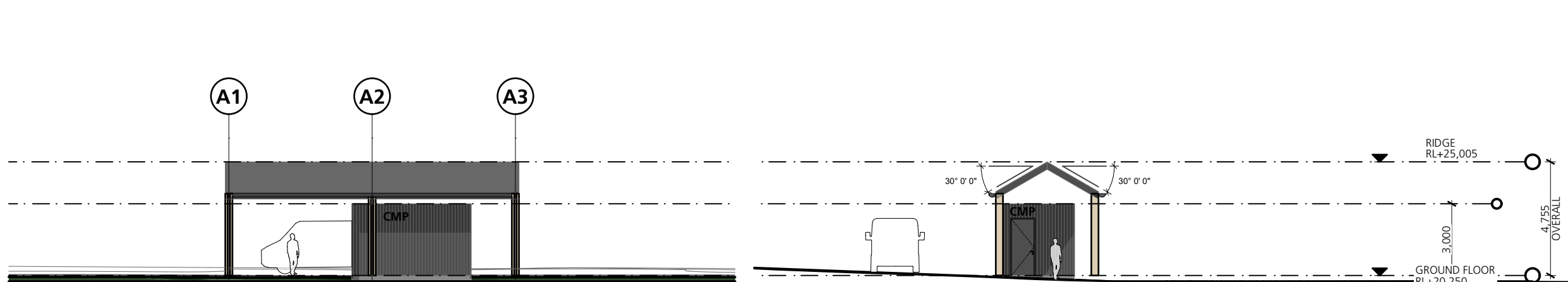


Ground Floor Plan - Covered Parking



West Elevation

North Elevation



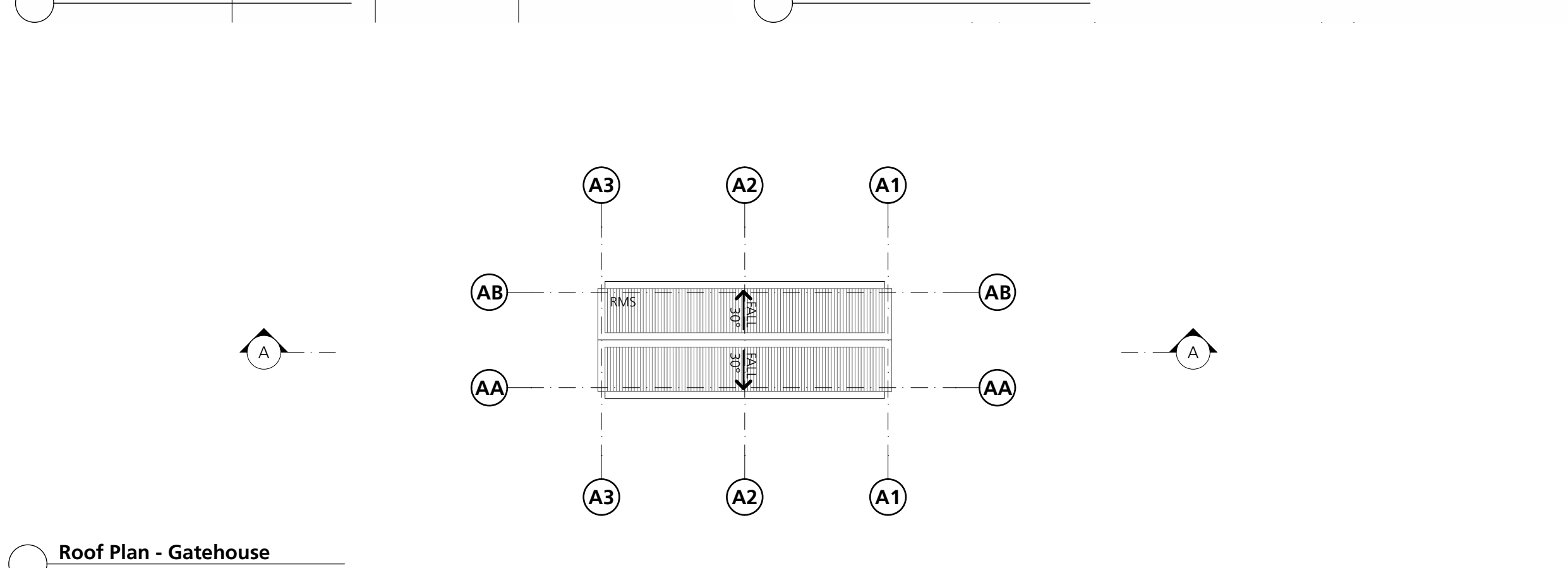
East Elevation

South Elevation

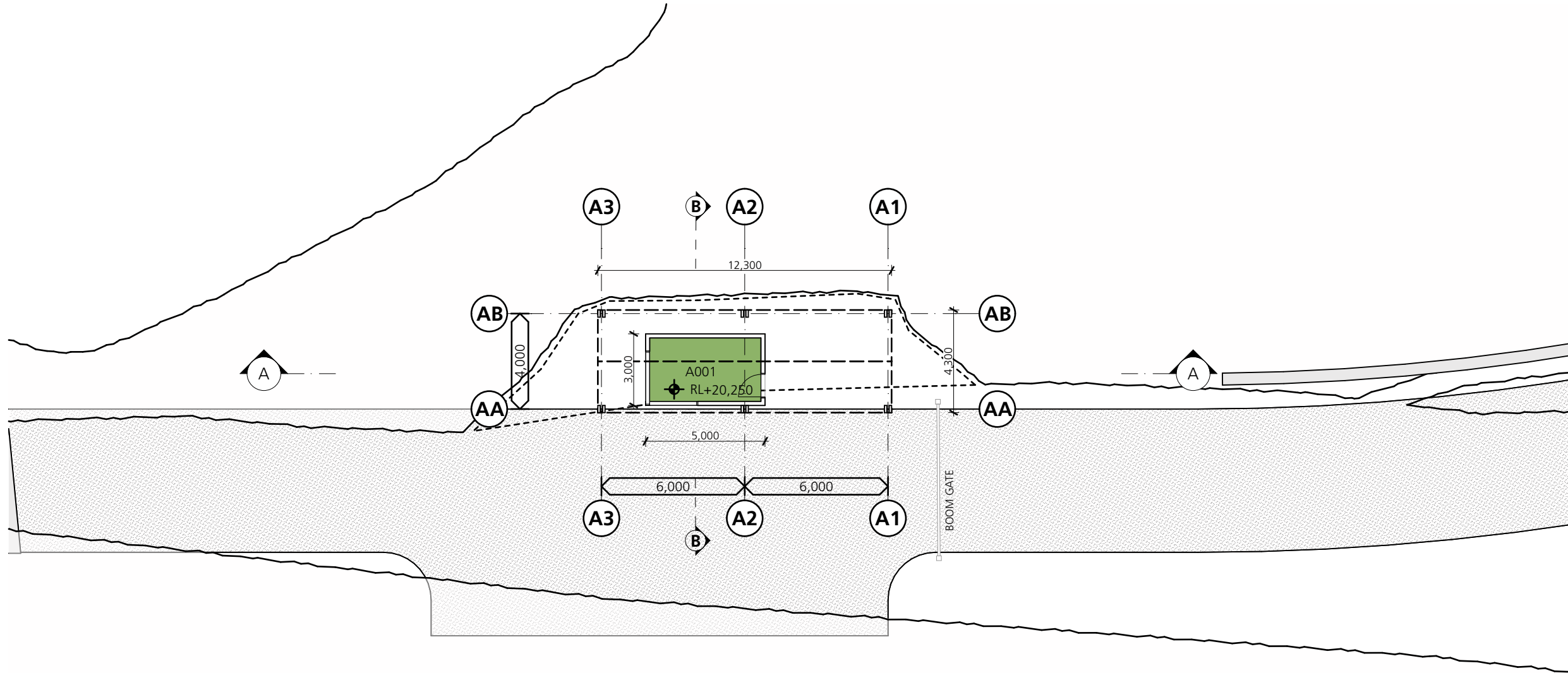


Section A - Gatehouse

Section B - Gatehouse



Roof Plan - Gatehouse



Ground Floor Plan - Gatehouse

CONSULTANTS									
TOWN PLANNING Barr Property & Planning T 0403 093 664	CIVIL ENGINEER Northrop Consulting Engineers T 4963 1777	LANDSCAPE ARCHITECT Moir Landscape Architecture T 4963 3500	GEOTECHNICAL ENGINEER GHD Australia T 4979 9983	ENVIRONMENTAL ENGINEER MJD Environmental T 0416 208 684	HERITAGE CONSULTANT RPS Group T 4940 4200	TRAFFIC ENGINEER SECA Solution T 4032 7979	RISK ASSESSMENT EP Risk T 4048 2845		

AMENDMENTS									
No	Dr	Chk	Date	Comment	No	Dr	Chk	Date	Comment
01	YG	MT	06.07.18	Draft DA					
02	YG	MT	19.10.18	Amended Plans					

NOTES
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2. Work to given dimensions. Do not scale from drawing.
3. Check all dimensions on site prior to construction and fabrication.
4. Bring any discrepancies to the attention of the proprietor & architect.

CLIENT NAME
PALMER GROUP

SCALE	
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PROJECT NAME AND ADDRESS	
Blackrock Motor Park Old Rhondda Colliery Site Rhondda Road, Wakefield NSW	
DRAWN	APPROVED
TG	MT

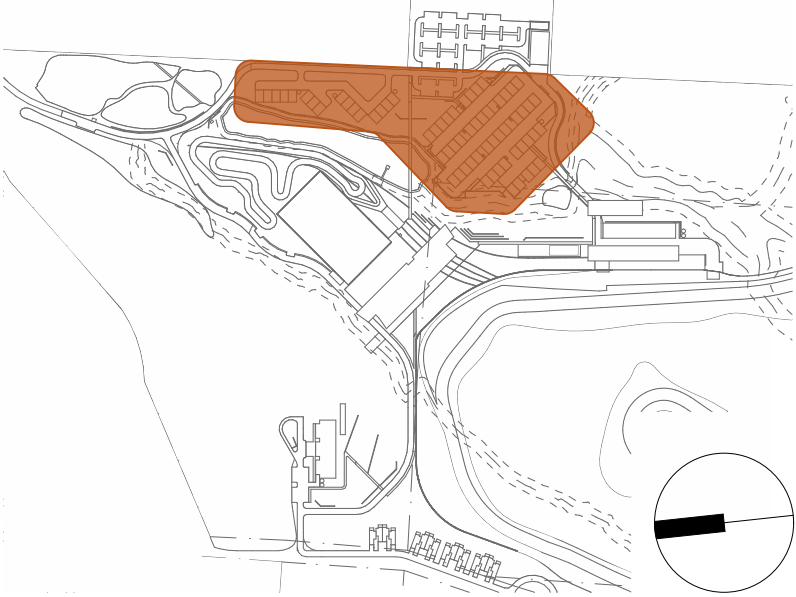
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DEVELOPMENT APPLICATION	
DRAWING TITLE	
Miscellaneous Structures	

PROJECT NO	DRAWING NO	REV
3606	DA2602 02	

T +61 2 4961 5888 F +61 2 4962 2577 E info@shac.com.au	224 Maitland Road Hilong NSW 2296 Australia	Nominated Architect Justin Hamilton (6160) ABN 32 131 584 846
--	---	---



KEY PLAN



Legend

BAL	BALUSTRADE
EX	EXISTING
B	BOLLARD
BRK	BRICKWORK
BM	BATTEN METAL
CMP	CLADDING METAL PANEL
CON	CONCRETE
CPC	CLADDING PRE-CAST CONCRETE
DP	DOWNPipe
FG	FIXED GLASS
GUB	GUTTERS BOX
GUE	GUTTERS EAVE
LV	LUVER
PAV	PAVING
PF	PAINT FINISH
PV	PHOTOVOLTAIC SOLAR PANEL
TMB	TIMBER
RS	ROLLER SHUTTER
RMS	ROOF METAL SHEET
SDT	SIGNAGE & DISPLAY
SKY	SKYLIGHT

AREA N - BLACKROCK VILLAGE

Number	Room Name	Area
N1	N1 First Floor	441
N1	N1 Ground Floor	476
N2	N2 First Floor	263
N2	N2 Ground Floor	284
N3	N3 First Floor	352
N3	N3 Ground Floor	380
N4	N4 First Floor	352
N4	N4 Ground Floor	380
N5	N5 First Floor	441
N5	N5 Ground Floor	476
N6	N6 First Floor	352
N6	N6 Ground Floor	380
N7	N7 First Floor	352
N7	N7 Ground Floor	380
N8	N8 First Floor	352
N8	N8 Ground Floor	380
N9	N9 First Floor	352
N9	N9 Ground Floor	380
N10	N10 First Floor	441
N10	N10 Ground Floor	476
N11	N11 First Floor	352
N11	N11 Ground Floor	380
N12	N12 First Floor	352
N12	N12 Ground Floor	380
N13	N13 First Floor	441
N13	N13 Ground Floor	476
N14	N14 First Floor	352
N14	N14 Ground Floor	380
N15	N15 First Floor	174
N15	N15 Ground Floor	188
N16	N16 First Floor	263
N16	N16 Ground Floor	284
		11,712 m ²

KEY - Village Site Plan

Block Type

	TYPE A
	TYPE B
	TYPE C
	TYPE D

CONSULTANTS

TOWN PLANNING
Barr Property & Planning
T 0403 093 664

CIVIL ENGINEER
Northrop Consulting Engineers
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LANDSCAPE ARCHITECT
Moir Landscape Architecture
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GEOTECHNICAL ENGINEER
GHD Australia
T 4979 9983

ENVIRONMENTAL ENGINEER
MJD Environmental
T 0416 208 684

HERITAGE CONSULTANT
RPS Group
T 4940 4200

TRAFFIC ENGINEER
SECA Solution
T 4032 7979

RISK ASSESSMENT
EP Risk
T 4048 2845

AMENDMENTS

No	Dr	Chk	Date	Comment
01	YG	MT	01.05.18	Client Meeting
02	YG	MT	07.06.18	Coordination Meeting
03	YG	MT	06.07.18	Draft DA
04	YG	MT	19.07.18	FOR DA
05	YG	MT	19.10.18	Amended Plans

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CLIENT NAME
PALMER GROUP

SCALE
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PROJECT NAME AND ADDRESS
**Blackrock Motor Park
Old Rhondda Colliery Site Rhondda
Road, Wakefield NSW**

DRAWN
TG

APPROVED
MT

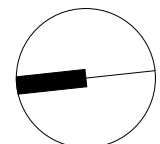
STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
Blackrock Village - Precinct Site Plan

PROJECT NO
3606

DRAWING NO
DA2701 05

REV



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224 Maitland Road
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Australia

Nominated Architect
Justin Hamilton (6160)
ABN 32 131 584 946

Drawing and design © Shac Pty Ltd 2018. The signed control copy of this drawing is held by Shac Pty Ltd. | Ref: Volumes/Projects/3606/Sugarloaf Park Adventure Centre/500 CAD Graphics & Models/520 DA/3606 520 50 Blackrock Park.pln date: 19/10/18 time: 3:37 pm

DEVELOPMENT APPLICATION

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No	Drn	Chk	Date	Content
01	TG	JH	19/10/18	Amended Plans



STREETSCAPE KEY

THE FOLLOWING PALETTE OUTLINES THE PRIMARY ARCHITECTURAL MATERIALITY & CHARACTERISTICS OF THE BLACKROCK VILLAGE STREETSCAPE, THE GROUNDSCAPE IS DESIGNED AS A LOW SPEED MIXED USE SPACE CONSISTING OF DEEP SOIL PLANTING ZONES, A VARIETY OF PAVEMENTS AND OUTDOOR GATHERING SPACES THAT EXTEND THE SOCIAL FUNCTIONALITY OF EACH CLUSTER OF BUILDINGS AND ENCOURAGE COMMUNITY INTERACTION IN THE LANDSCAPE. ITS INTENDED THAT THE BLACKROCK VILLAGE NOT ONLY ASSIST THE ECONOMIC VIABILITY OF THE PROJECT, BUT ALSO ENABLE ITS SOCIAL VIABILITY, A TEXTURED AND UNIQUE STREETSCAPE PROMOTES SOCIAL INVESTMENT IN AN EXCITING NEW COMMUNITY FOR LAKE MACQUARIE AND THE BROADER VALLEY.

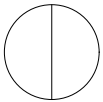
PRECEDENTS FOR THIS TYPE OF PROJECT ARE SOURCED FROM LEADING AUSTRALIAN LANDSCAPE ARCHITECTURE INCLUDING THE MAITLAND LEVEE AND KENSINGTON STREET, SYDNEY, ITS INTENDED THIS PROJECT NOT ONLY MEETS THIS STANDARD OF URBAN GROUNDSCAPES BUT ALSO BECOMES A LEADER IN COMMUNITY FOCUSED LANDSCAPE ARCHITECTURE.

3606
DA9101
Rev01 19.10.18

Precedents - Blackrock Village

Blackrock Motor Park
Old Rhondda Colliery Site Rhondda Road, Wakefield NSW

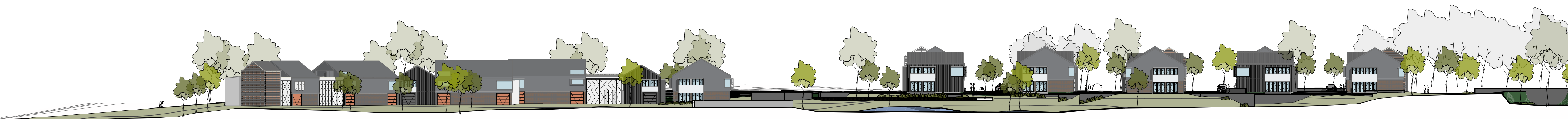
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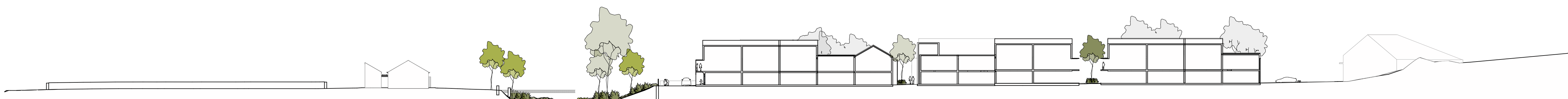
SHAC

Nominated Architect Justin Hamilton (6160) | ABN 32 131 584 846

BAL	BALLUSTRADE
EX	EXISTING
B	BOLLARD
BRK	BRICKWORK
BM	BATTEN METTAL
CMF	CLADDING METAL PANEL
CON	CONCRETE
CPC	CLADDING PRE CAST CONCRETE
DP	DOWNPIPE
FG	FIXED GLASS
GUB	GUTTERS BOX
GUE	GUTTERS EAVE
LV	LIVER
PAV	PAVING
PF	PAINT FINISH
PV	PHOTOVOLTAIC SOLAR PANEL
TMB	TIMBER
RS	ROLLER SHUTTER
RMS	ROOF METAL SHEET
SDT	SIGNAGE & DISPLAY
SKY	SKYLIGHT



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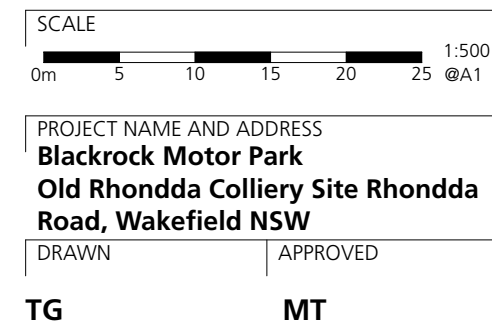


CONSULTANTS							
 <p>BARR PROPERTY PLANNING <i>Commercial Property</i></p>	 <p>NORTHROP CONSULTING ENGINEERS</p>	 <p>moir LANDSCAPE ARCHITECTURE</p>	 <p>GHD</p>	 <p>MJD Environmental Pty Ltd</p>	 <p>SECA solution</p>	 <p>EP RISK</p>	
<p>TOWN PLANNING Barr Property Planning T: 0463 093 664</p>	<p>CIVIL ENGINEER Northrop Consulting Engineers T: 0463 11777</p>	<p>LANDSCAPE ARCHITECT Moir Landscape Architecture T: 0460 5500</p>	<p>GEOTECHNICAL ENGINEER GHD Australia T: 0416 268 684</p>	<p>ENVIRONMENTAL ENGINEER MJD Environmental T: 0479 9963</p>	<p>HERITAGE CONSULTANT RPS Group T: 0480 4200</p>	<p>TRAFFIC ENGINEER SECA Solution T: 0212 7979</p>	<p>RISK ASSESSMENT EP Risk T: 0408 2845</p>

[illegible]

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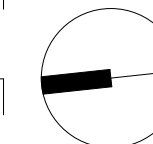
PALMER GROUP



DEVELOPMENT APPLICATION

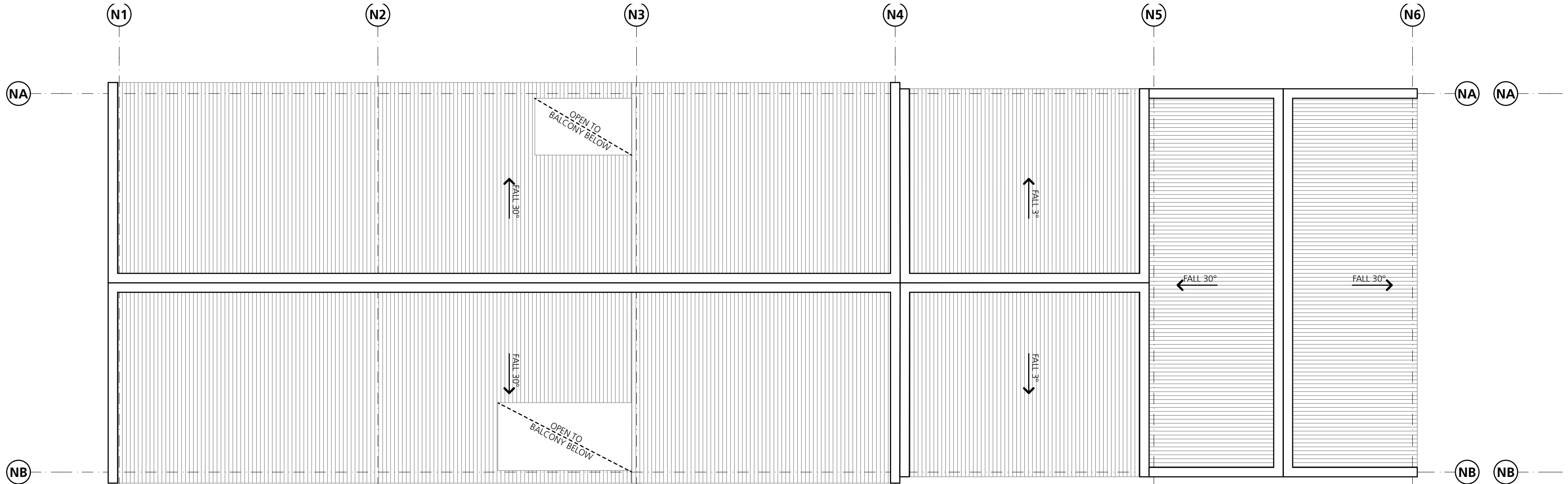
DRAWING TITLE
**Blackrock Village - Precinct Elevations
+ Sections**

PROJECT NO.	DRAWING NO.	REV.
3606	DA2702	03

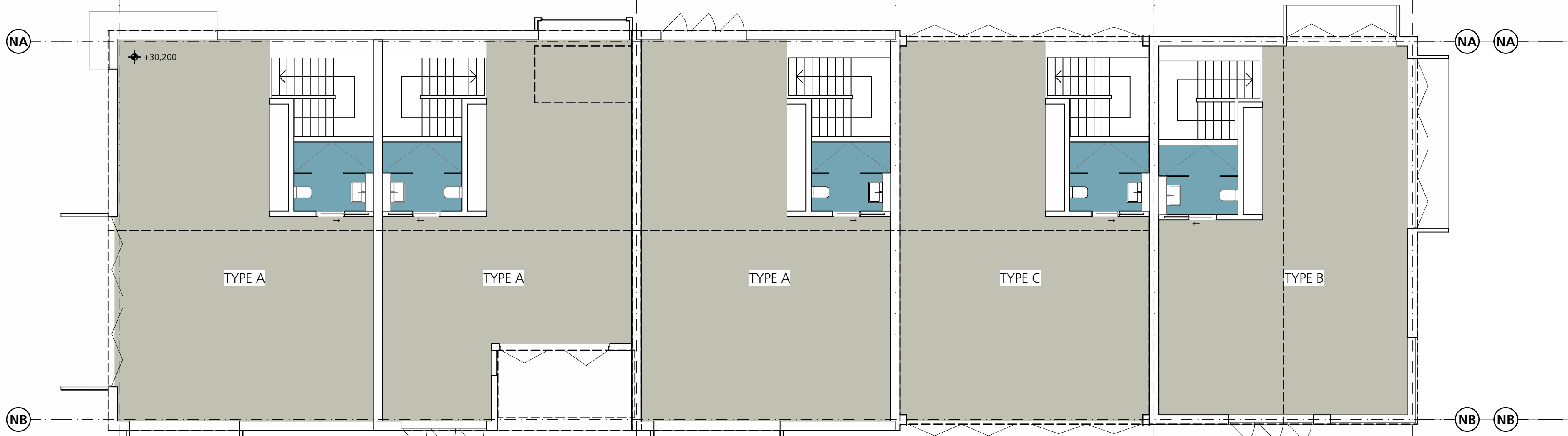


SHA C

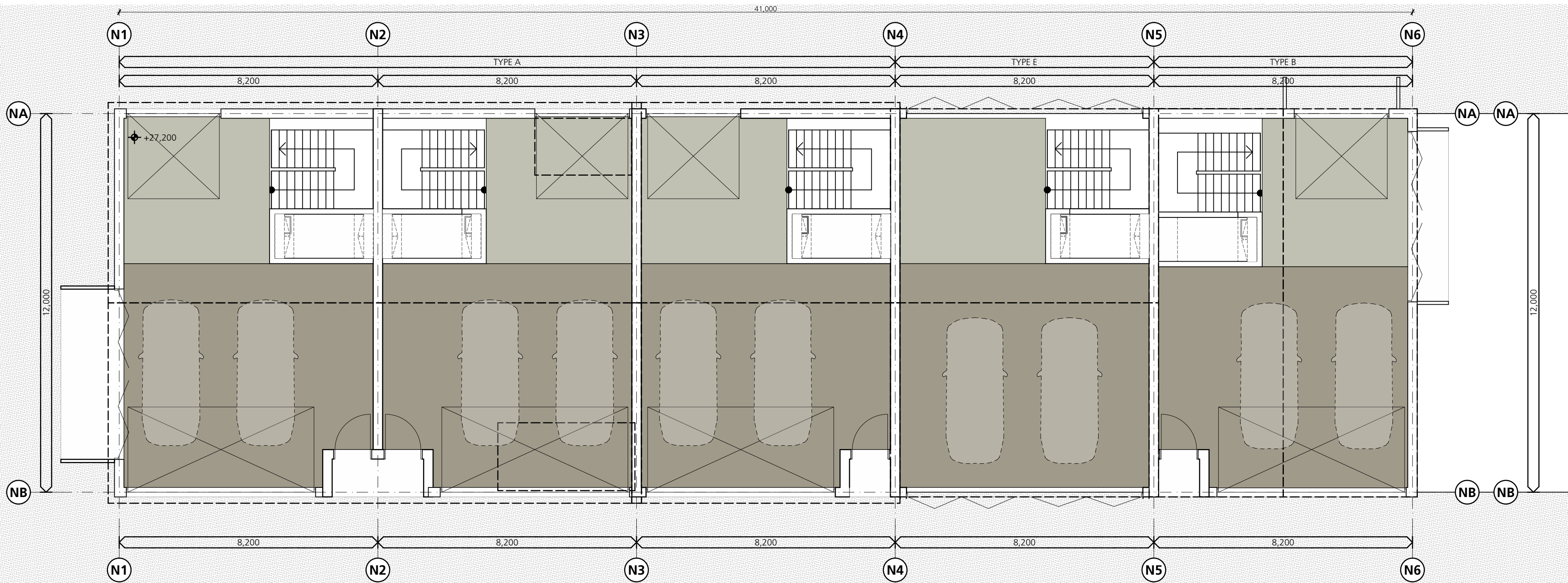
T +61 2 4961 5888	224 Maitland Road	Nominated Architect
F +61 2 4962 2577	Islington NSW 2296	Justin Hamilton (6160)
E info@shac.com.au	Australia	ABN 32 131 584 846



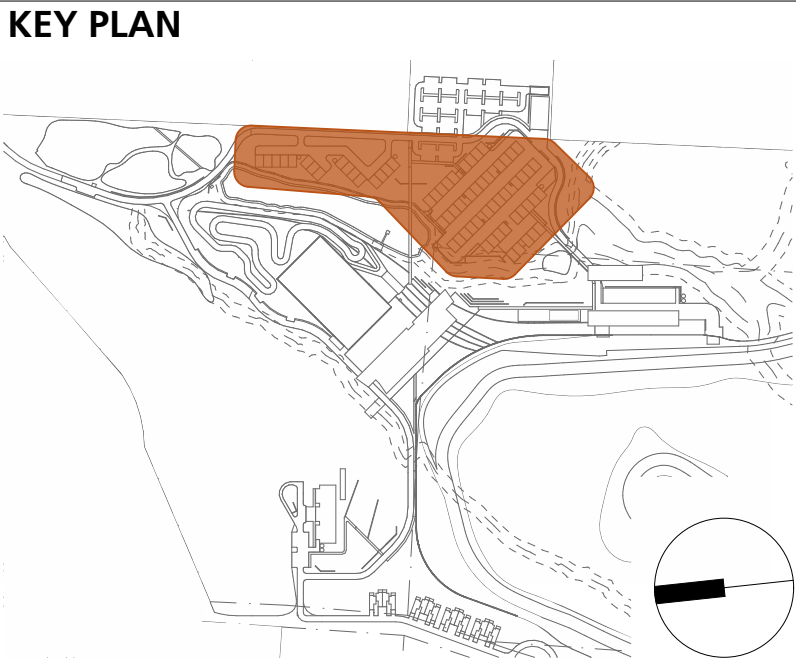
Roof Plan - Typical Cluster



First Floor Plan - Typical Cluster



Ground Floor Plan - Typical Cluster



Legend

BAL	BALUSTRADE
EX	EXISTING
B	BOLLARD
BRK	BRICKWORK
BM	BATTEN METAL
CMP	CLADDING METAL PANEL
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PF	PAINT FINISH
PV	PHOTOVOLTAIC SOLAR PANEL
TMB	TIMBER
RS	ROLLER SHUTTER
RMS	ROOF METAL SHEET
SDT	SIGNAGE & DISPLAY
SKY	SKYLIGHT

AREA N - BLACKROCK VILLAGE TYPICAL LOFT

Number	Room Name	Area
N001	Entry	1
N002	Garage	75
N003	Laundry	4
N101	Loft	77
N102	WC	6
		163 m²

CONSULTANTS

TOWN PLANNING
Barr Property & Planning
T 0403 093 664

CIVIL ENGINEER
Northrop Consulting Engineers
T 4943 1777

LANDSCAPE ARCHITECT
Moir Landscape Architecture
T 4965 3500

GEOTECHNICAL ENGINEER
GHD Australia
T 4979 9983

ENVIRONMENTAL ENGINEER
MJD Environmental
T 0416 208 684

HERITAGE CONSULTANT
RPS Group
T 4940 4200

TRAFFIC ENGINEER
SECA Solution
T 4032 7979

RISK ASSESSMENT
EP Risk
T 4048 2845

AMENDMENTS

No	Drn	Chk	Date	Comment
01	TG	MT	01.05.18	Client Meeting
02	TG	MT	07.06.18	Coordination Meeting
03	TG	MT	06.07.18	Draft DA
04	TG	MT	19.07.18	FOR DA
05	TG	MT	19.10.18	Amended Plans

- NOTES
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CLIENT NAME
PALMER GROUP

SCALE
0m 2 4 6 8 10 @A1

PROJECT NAME AND ADDRESS
**Blackrock Motor Park
Old Rhondha Colliery Site Rhondha
Road, Wakefield NSW**

DRAWN
TG

APPROVED
MT

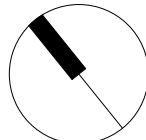
STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
**Blackrock Village - Typical Cluster
Floor Plans**

PROJECT NO
3606

DRAWING NO
DA2703 05

REV



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F +61 2 4962 2577 Maitland NSW 2296 Justin Hamilton (6160)
E info@shac.com.au Australia ABN 32 131 584 846

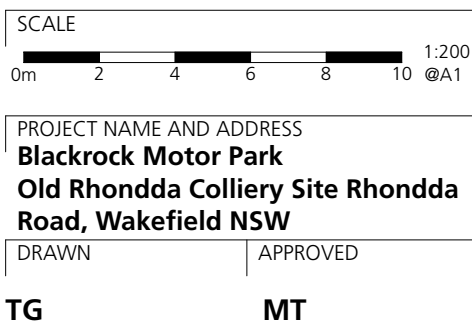
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B	BOLLARD
BRK	BRICKWORK
BM	BATTEN METTAL
CMP	CLADDING METAL PANEL
CON	CONCRETE
CPC	CLADDING PRE CAST CONCRETE
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GUB	GUTTERS BOX
GUE	GUTTERS EAVE
LV	LOUVRE
PAV	PAVING
PF	PAINT FINISH
PV	PHOTOVOLTAIC SOLAR PANEL
TMB	TIMBER
RS	ROLLER SHUTTER
RMS	ROOF METAL SHEET
SDT	SIGNAGE & DISPLAY
SKY	SKYLIGHT

[illegible]

NOTES

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CLIENT NAME
PALMER GROUP



STATUS
DEVELOPMENT APPLICATION

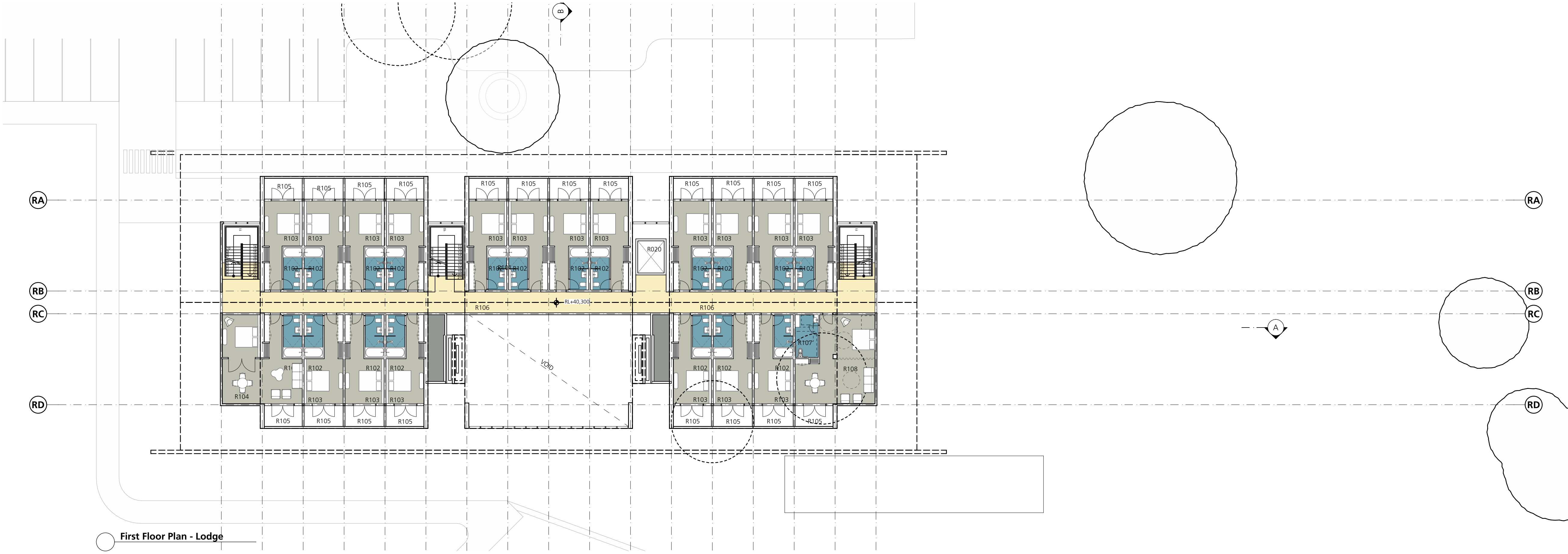
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Blackrock Village - Typical Elevations + Sections

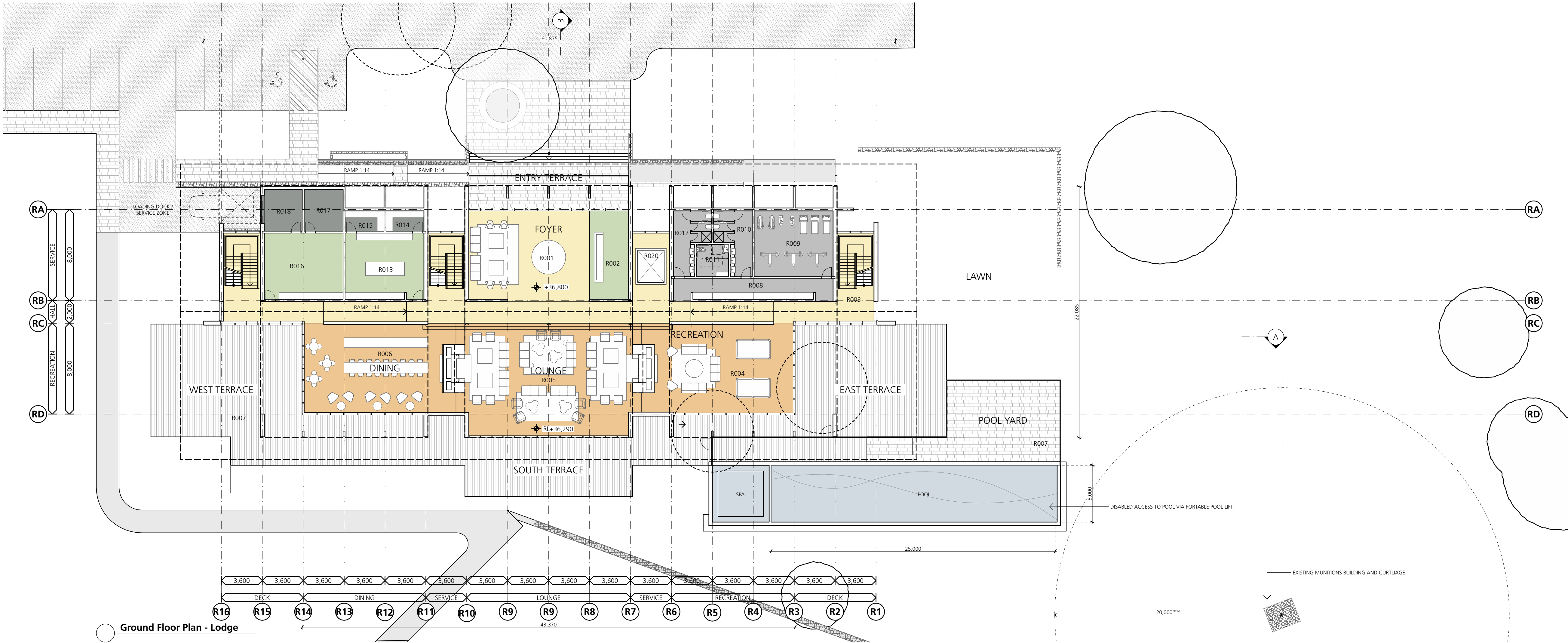
PROJECT NO.	DRAWING NO.	REV.
3606	DA2704	03

SHA C

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F +61 2 4962 2577 Islington NSW 2296 Justin Hamilton (6160
E info@shac.com.au Australia ABN 32 131 584 846

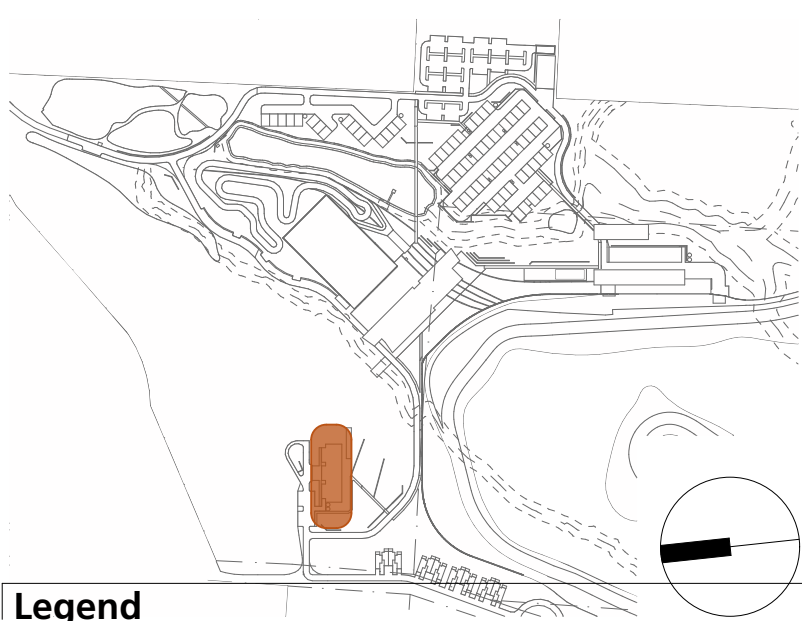


First Floor Plan - Lodge



Ground Floor Plan - Lodge

KEY PLAN



Legend

BAL	BALUSTRADE
EX	EXISTING
B	BOLLARD
BRK	BRICKWORK
BM	BATTEN METAL
CMP	CLADDING METAL PANEL
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RS	ROLLER SHUTTER
RMS	ROOF METAL SHEET
SDT	SIGNAGE & DISPLAY
SKY	SKYLIGHT

BUILDING R - BLACKROCK LODGE GROUND

Number	Room Name	Area
R001	Entry + Foyer	85
R002	Reception	27
R003	Hall	179
R004	Garnies	104
R005	Lounge	150
R006	Bar	101
R007	Pool Yard	92
R007	Deck	470
R008	Hall	26
R009	Gym	40
R010	Female WC	15
R011	ACC WC	8
R012	Male WC	15
R013	Kitchen	40
R014	Store	6
R015	Store	6
R016	Staff	40
R017	Store	13
R018	Store	13
R020	Male WC	7

BUILDING R - BLACKROCK LODGE FIRST

Number	Room Name	Area
R101	Hall	131
R102	Bathroom Typical	6
R103	Room Type A Typical	19
R104	Room Type B Typical	47
R105	Deck Typical	6
R106	Cleaner Typical	9
R107	ACC Bathroom Typical	8
R108	Room Type C Typical	47
R	GFA - Ground Floor	915
R	GFA - First Floor	768
		1,683 m²

CONSULTANTS	

AMENDMENTS	
No	Rev
01	10.08.17
02	22.08.17
03	06.07.18
04	19.10.18

NOTES	
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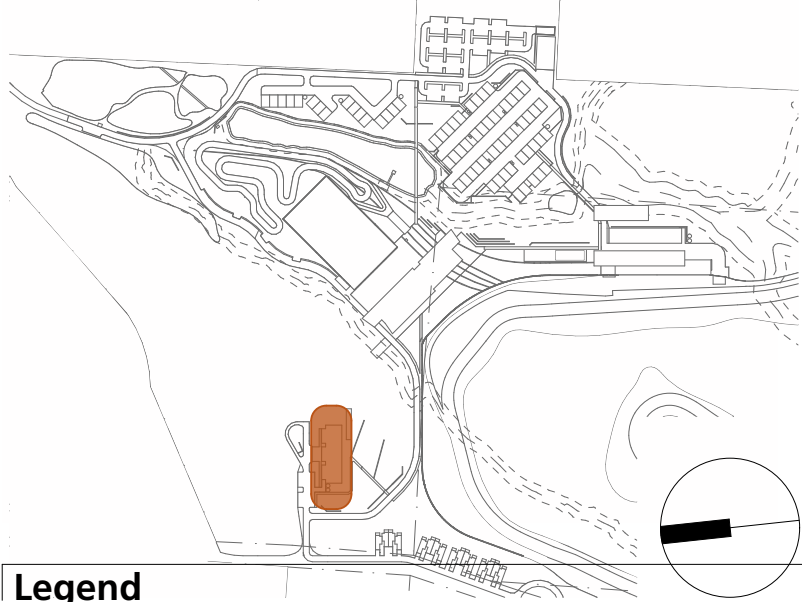
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PALMER GROUP	

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STATUS	
DEVELOPMENT APPLICATION	
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PROJECT NO	
3606	
DRAWING NO	
DA2901 04	

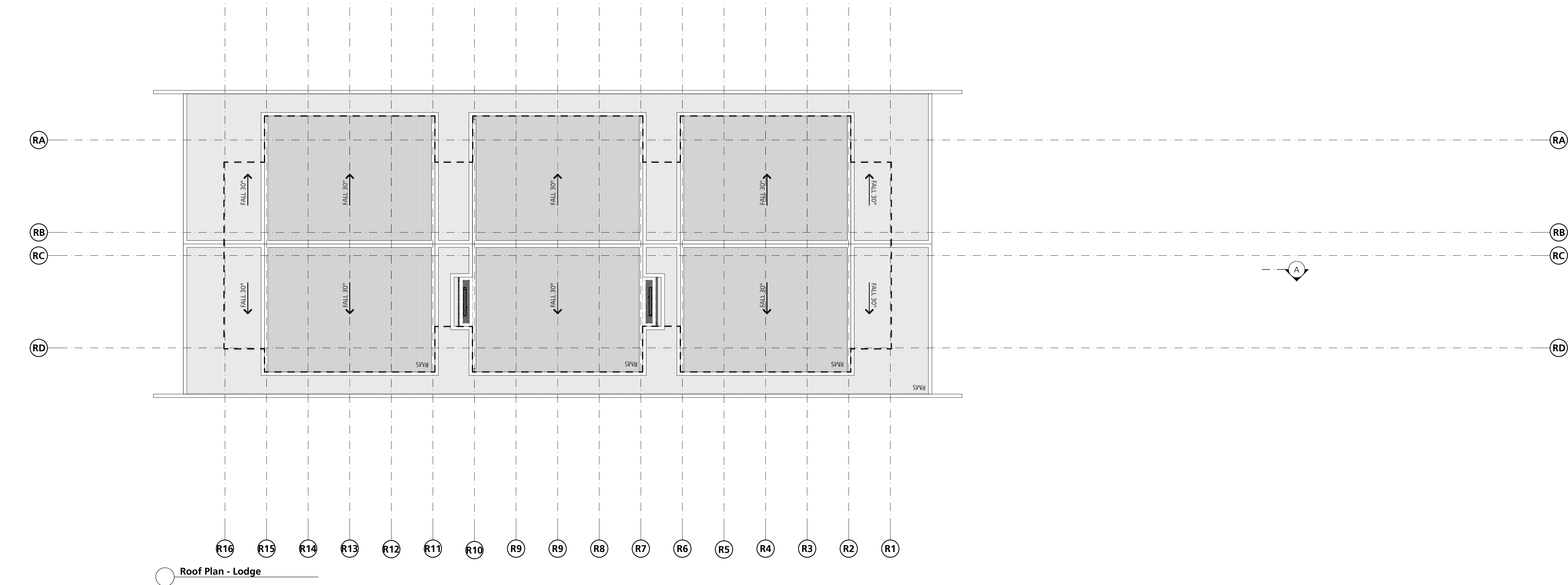
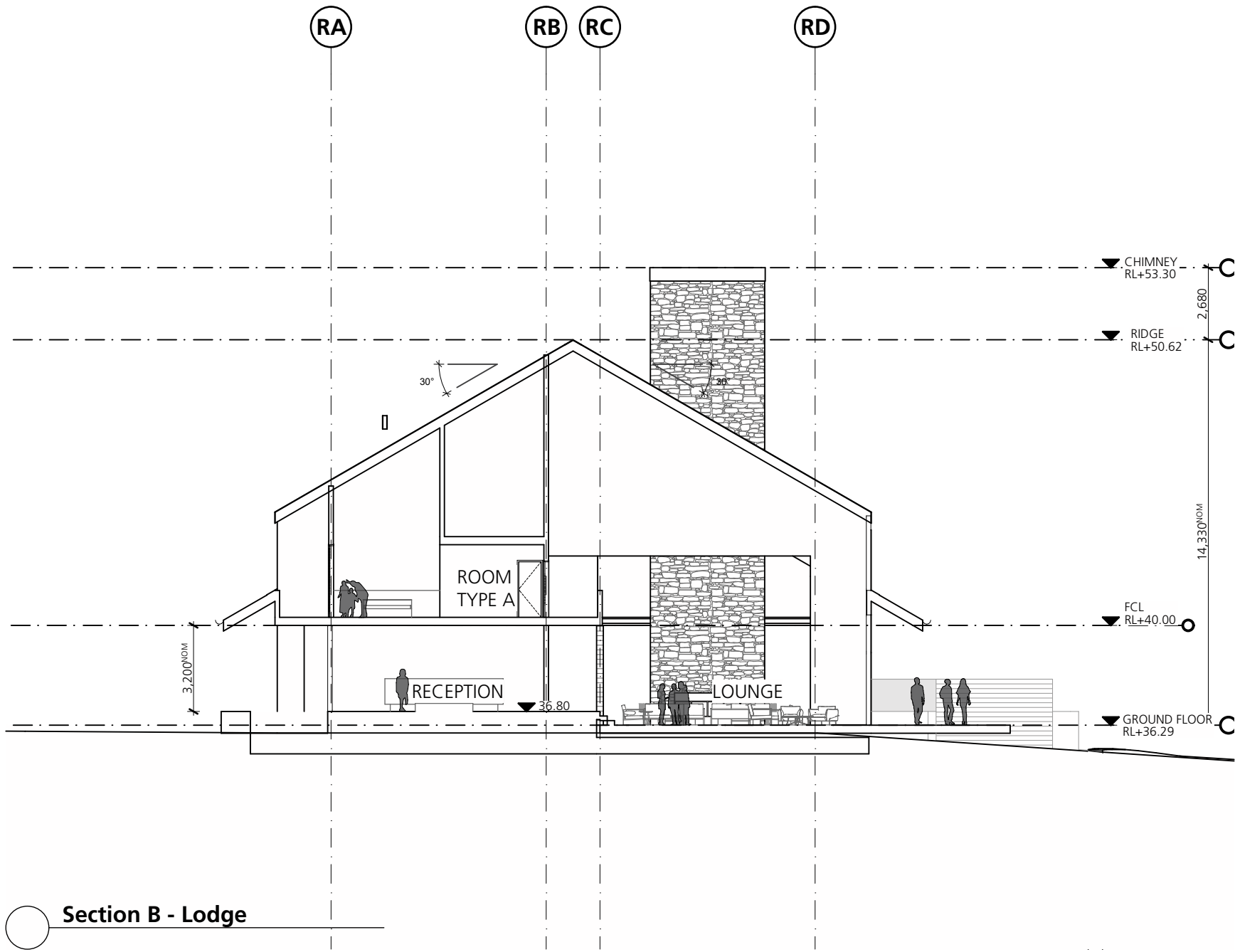
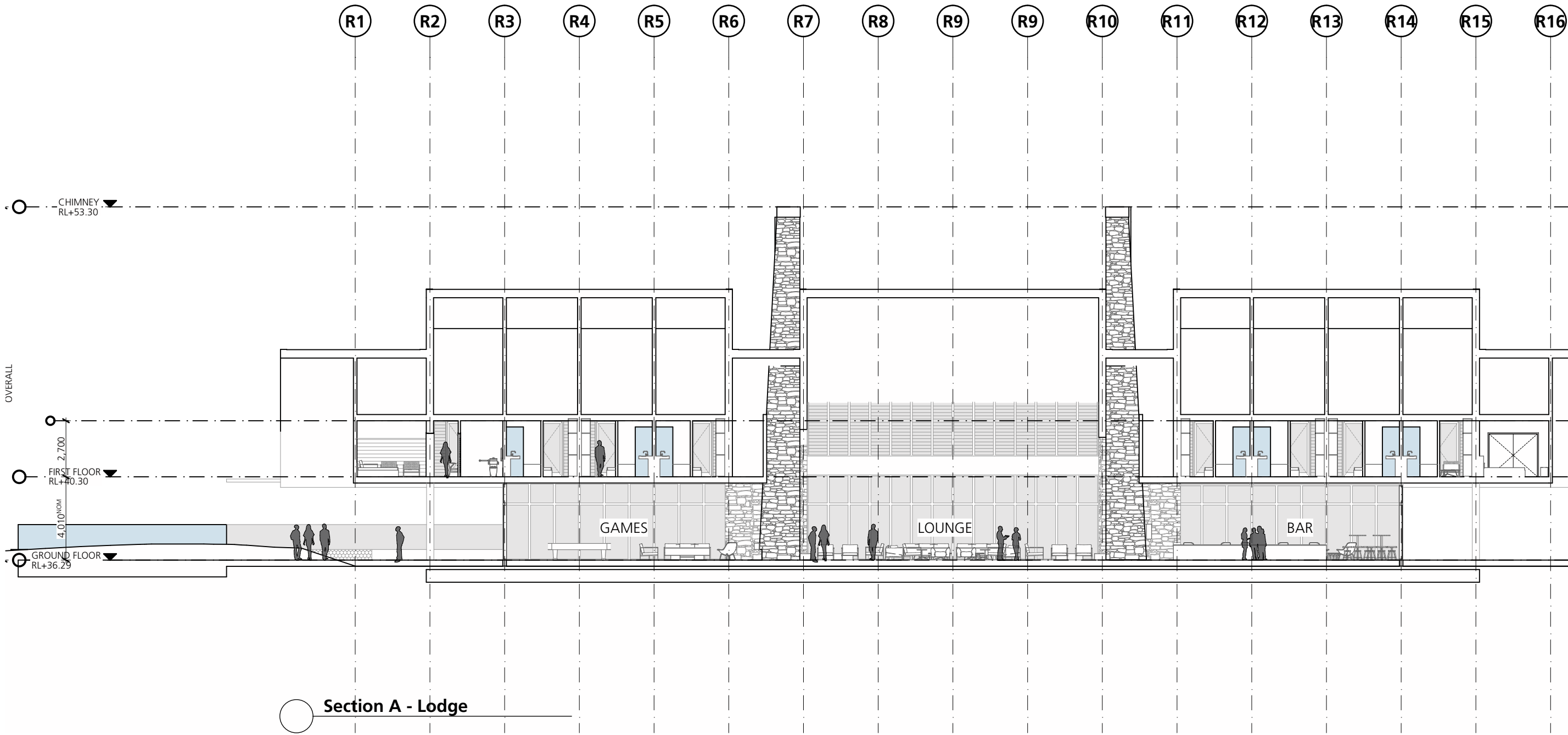
SHAC	
T +61 2 4961 5888	224 Maitland Road
F +61 2 4962 2577	Wilmington NSW 2296
E info@shac.com.au	Australia
Nominated Architect	
Justin Hamilton (6160)	
ABN 32 131 584 846	

KEY PLAN



Legend

- BAL BALUSTRADE
- EX EXISTING
- B BOLLARD
- BRK BRICKWORK
- BM BATTEN METAL
- CMP CLADDING METAL PANEL
- CON CONCRETE
- CPC CLADDING PRE CAST CONCRETE
- DP DOWNPIPE
- FG FIXED GLASS
- GUB GUTTERS BOX
- GUE GUTTERS EAVE
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- PAV PAVING
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- PV PHOTOVOLTAIC SOLAR PANEL
- TMB TIMBER
- RS ROLLER SHUTTER
- RMS ROOF METAL SHEET
- SDT SIGNAGE & DISPLAY
- SKY SKYLIGHT



PRECEDENTS (BY OTHERS)

CONSULTANTS					
TOWN PLANNING Barr Property & Planning T 0403 093 664	CIVIL ENGINEER Northrop Consulting Engineers T 4943 1777	LANDSCAPE ARCHITECT Moir Landscape Architecture T 4965 3500	GEOTECHNICAL ENGINEER GHD Australia T 4979 9983	ENVIRONMENTAL ENGINEER MJD Environmental T 0416 208 684	HERITAGE CONSULTANT RPS Group T 4940 4200
	TRAFFIC ENGINEER SECA Solution T 4032 7979		RISK ASSESSMENT EP Risk T 4048 2845		

AMENDMENTS					
No	Dr	Chk	Date	Comment	
01	TG	JH	10.08.17	For DA LMCC	
02	TG	JH	22.06.17	For DA	
03	TG	JH	06.07.18	Draft DA	
04	TG	JH	19.10.18	Amended Plans	

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CLIENT NAME
PALMER GROUP

SCALE
0m 2 4 6 8 10 @A1

PROJECT NAME AND ADDRESS
**Blackrock Motor Park
Old Rhondda Colliery Site Rhondda
Road, Wakefield NSW**

DRAWN
TG

APPROVED
JH

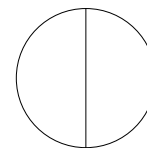
STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
Area R Lodge - Roof Plan + Sections

PROJECT NO
3606

DRAWING NO
DA2902 04

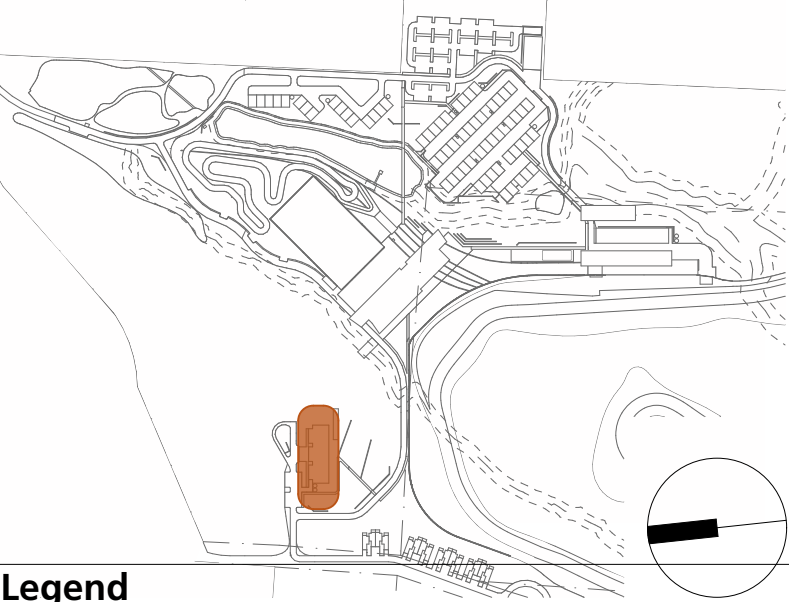
REV



SHAC

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F +61 2 4962 2577 Inlington NSW 2296 Justin Hamilton (6160)
E info@shac.com.au Australia ABN 32 131 584 946

KEY PLAN



Legend

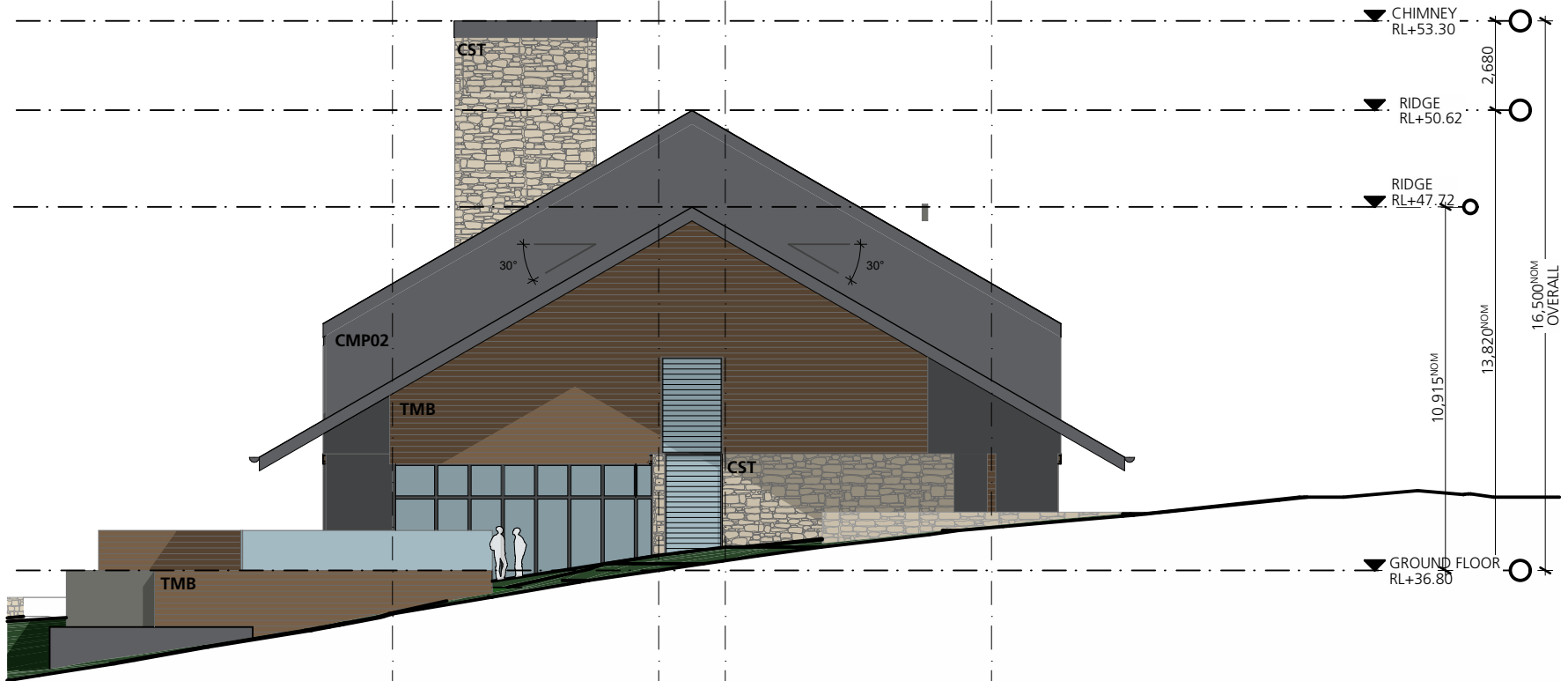
- BAL BALUSTRADE
- EX EXISTING
- B BOLLARD
- BRK BRICKWORK
- BM BATTEN METAL
- CMP CLADDING METAL PANEL
- CON CONCRETE
- CPC CLADDING PRE CAST CONCRETE
- DP DOWNPIPE
- FG FIXED GLASS
- GUB GUTTERS BOX
- GUE GUTTERS EAVE
- LV LIVER
- PAV PAVING
- PF PAINT FINISH
- PV PHOTOVOLTAIC SOLAR PANEL
- TMB TIMBER
- RS ROLLER SHUTTER
- RMS ROOF METAL SHEET
- SDT SIGNAGE & DISPLAY
- SKY SKYLIGHT

R1 R2 R3 R4 R5 R6 R7 R8 R9 R9 R10 R11 R12 R13 R14 R15 R16

RD RC RB RA



North Elevation

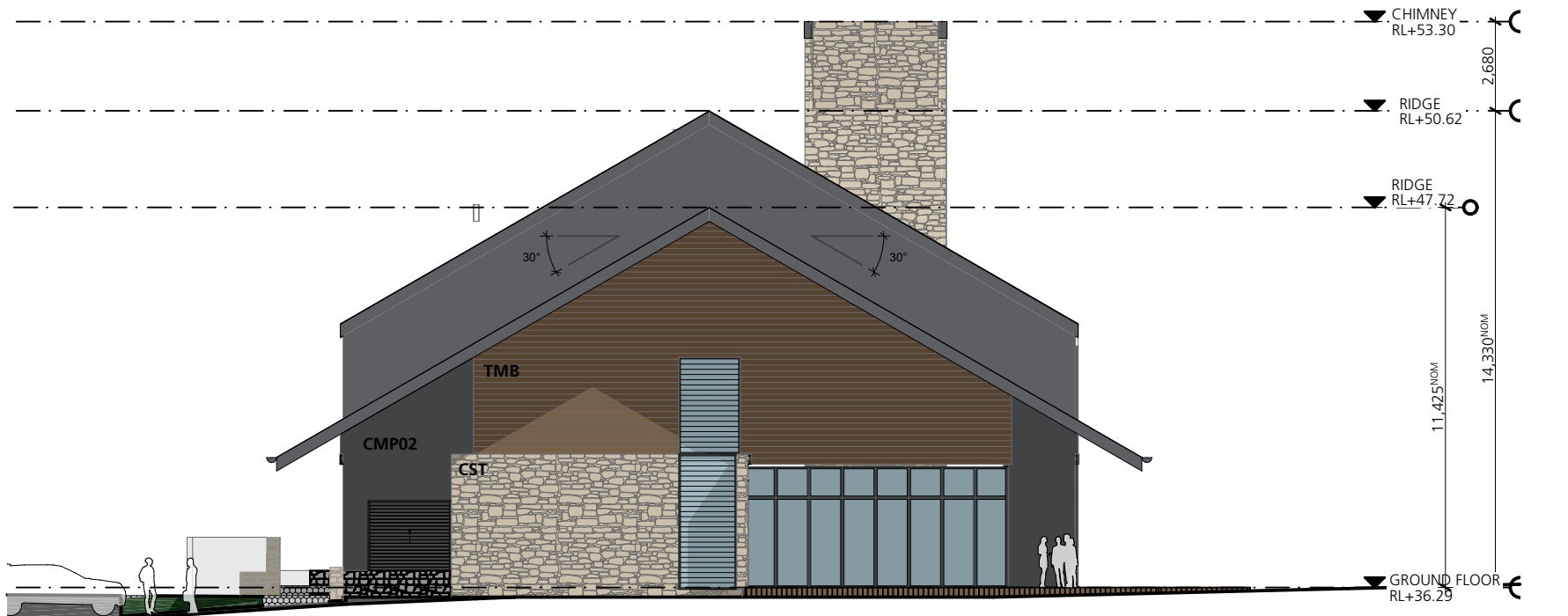


East Elevation

R16 R15 R14 R13 R12 R11 R10 R9 R9 R8 R7 R6 R5 R4 R3 R2 R1



South Elevation



West Elevation

PRECEDENTS (BY OTHERS)

CONSULTANTS

BARR PROPERTY & PLANNING Barr Property & Planning T 0403 093 664	NORTHROP Northrop Consulting Engineers T 4943 1777	moir Moir Landscape Architecture T 4965 3500	GHD GHD Australia T 4979 9983	MJD Environmental MJD Environmental T 0416 208 684	RPS RPS Group T 4940 4200	SECA solution SECA Solution T 4032 7979	EP RISK EP Risk T 4048 2845
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AMENDMENTS									
No	Dr	Chk	Date	Comment	No	Dr	Chk	Date	Comment
01	TG	JH	10.08.17	For DA IMCC					
02	TG	JH	22.08.17	For DA					
03	TG	JH	06.07.18	Draft DA					
04	TG	JH	19.10.18	Amended Plans					

- NOTES
- Dimensions are in millimeters unless otherwise shown.
 - Work to given dimensions. Do not scale from drawing.
 - Check all dimensions on site prior to construction and fabrication.
 - Bring any discrepancies to the attention of the proprietor & architect.

CLIENT NAME
PALMER GROUP

SCALE
0m 2 4 6 8 10 @A1

PROJECT NAME AND ADDRESS
**Blackrock Motor Park
Old Rhondda Colliery Site Rhondda
Road, Wakefield NSW**

DRAWN
TG

APPROVED
JH

STATUS
DEVELOPMENT APPLICATION

DRAWING TITLE
Area R Lodge - Elevations

PROJECT NO
3606

DRAWING NO
DA2903 04

REV

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Nominated Architect
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ABN 32 131 584 846

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NEW UNDERSTORY PLANTING AND EXISTING MID LEVEL CANOPY
PREDOMINANTLY SCREEN VIEW OF VILLAGE ELEMENTS BEYOND FROM
ENTRY ROAD INTERSECTION. COMPOSITION OF INDUSTRIAL
MATERIALITY INDICATED IN DA9010 REFERENCE PREVIOUSLY
DEMOLISHED SHED MINE INFRASTRUCTURE

EXISTING VEGETATION AROUND IRRIGATION POND ASSIST IN FRAMING
VIEW OF VISITOR CENTRE, CHIMNEY AND RAILWAY MEADOW AS
MAJOR INTERPRETATION ASSETS TO THE SITE.

PROPOSED CHIMNEY ACTS AS A REFERENCE POINT FOR SITE ENTRY AND
GATHERING. REFERENCES FORMER SAW MILL CHIMNEY ON SITE AND EMPHASISES
INDUSTRIAL HERITAGE OF SITE.

DOMINANT ELEMENT IN CLEARED AREA REFLECTS ATTRIBUTES OF FORMER
SCREENING INFRASTRUCTURE ONCE SITED IN A SIMILAR POSITION.

PROPOSED MEADOW REFERENCING LOCATION OF FORMER RAILWAY LINE
ACTS AS DOMINANT LANDSCAPE ELEMENT IN CLEARED AREA.

LOW SCALE GO KART FENCING

Entry Road Perspective

DEVELOPMENT APPLICATION

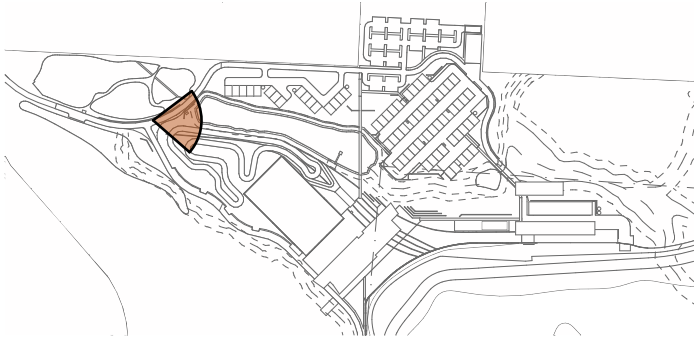
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No	Drn	Chk	Date	Content
01	TG	JH	9/10/18	Village Perspectives

KEY PLAN



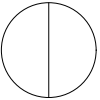
3606
DA9011

Rev01 09.10.18

Perspective - Blackrock Village

Blackrock Motor Park
Old Rhondda Colliery Site Rhondda Road, Wakefield NSW

NTS
@A3



SHAC

Nominated Architect Justin Hamilton (6160) | ABN 32 131 584 846

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LANDSCAPE MEADOW PLANTING TO PUBLIC SPACES WITH RAIL LINE MARKING TO PROVIDE HISTORIC INTERPERTATION

CURVE OF TRACK AND MANICURED LANDSCAPE SURROUNDING EXISTING MUNITIONS STORE, VISUALLY RETAIN OPEN SPACE FEEL AROUND STRUCTURE AND EXPRESS ITS HERITAGE SIGNIFICANCE IN THE LANDSCAPE.

PROPOSED LODGE

COMPOSITION OF CONTEMPORARY AND TRADITIONAL INDUSTRIAL MATERIALITY OF BLACKROCK VILLAGE ELEMENTS VISUALLY BREAK UP BULK AND SCALE



PIT PONY STABLE TO BE RE USED AS CAFE

LINES OF BUILT LANDSCAPE ELEMENTS CONTRAST NATURAL LANDSCAPE EDGES FRAMING VIEW FROM PIT LANE PRECINCT TO DOMINANT ARCHITECTURAL FORM IN LANDSCAPE. THICK NATURAL LOW LEVEL LANDSCAPE EDGES VISUALLY RECESS BLACKROCK VILLAGE ELEMENTS

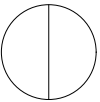
NEW UNDERSTORY PLANTING AND EXISTING MID LEVEL CANOPY PREDOMINANTLY SCREEN VIEW OF VILLAGE ELEMENTS BEYOND FROM PIT LANE PRECINCT.

Stable Cafe & Pit Lane

3606
DA9012
Rev01 09.10.18

Perspective - Blackrock Village
Blackrock Motor Park
Old Rhondda Colliery Site Rhondda Road, Wakefield NSW

NTS
@A3



DEVELOPMENT APPLICATION

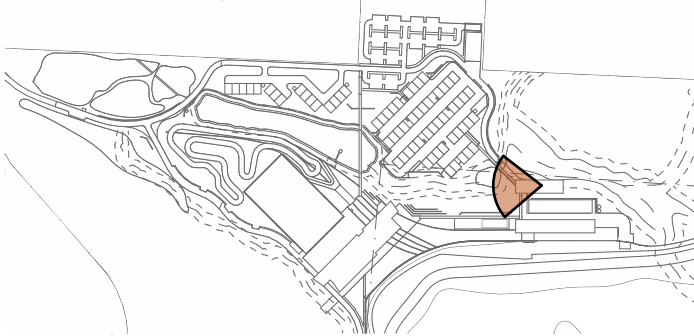
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No	Drn	Chk	Date	Content
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KEY PLAN



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DEVELOPMENT APPLICATION

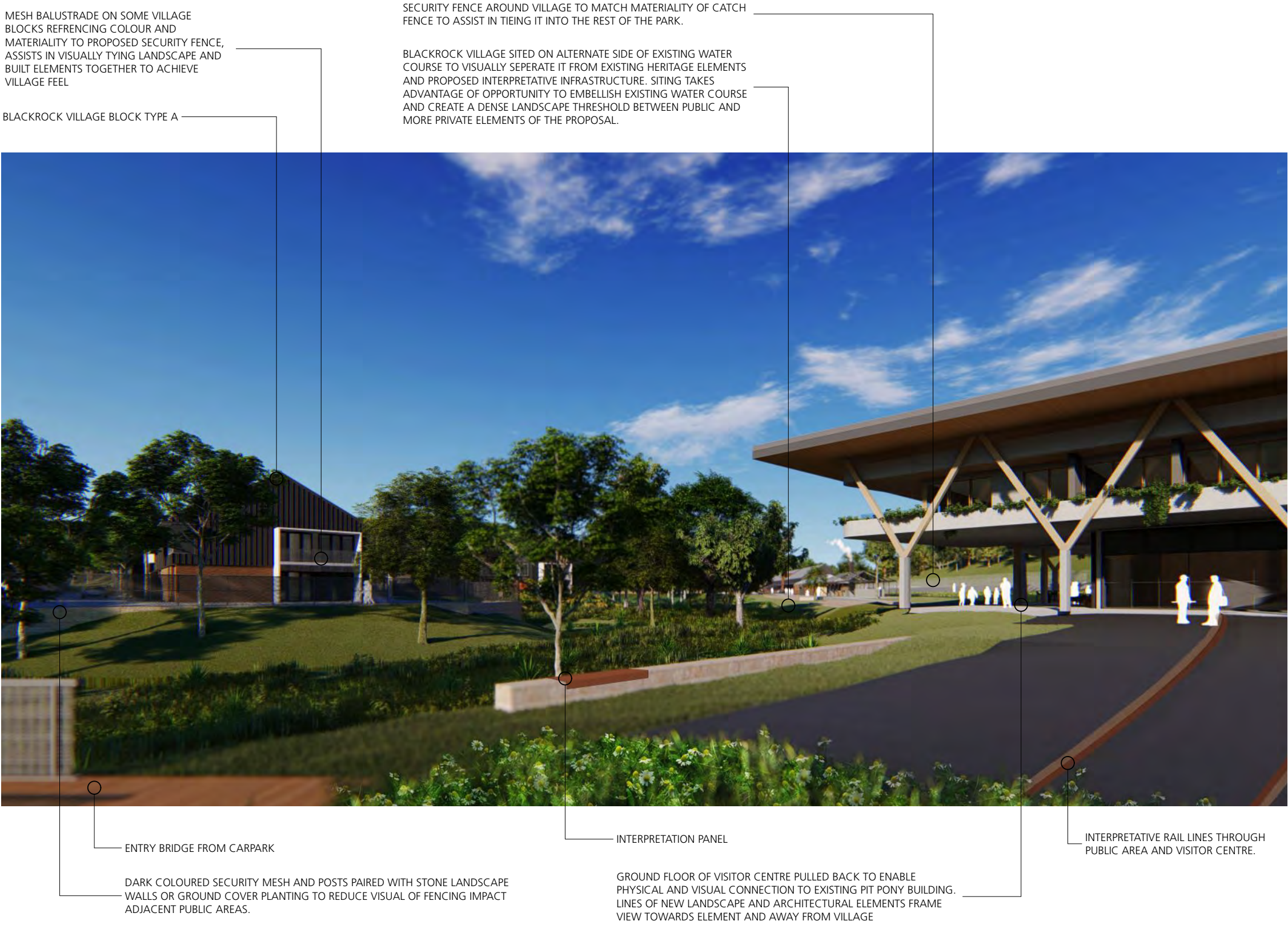
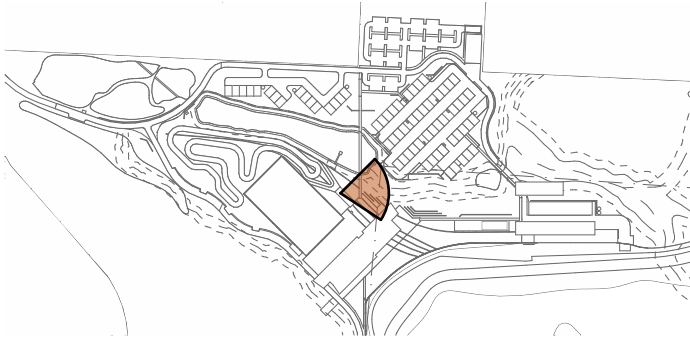
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KEY PLAN



View From Welcome Centre

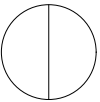
3606
DA9013

Rev01 09.10.18

Perspective - Blackrock Village

Blackrock Motor Park
Old Rhondda Colliery Site Rhondda Road, Wakefield NSW

NTS
@A3



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